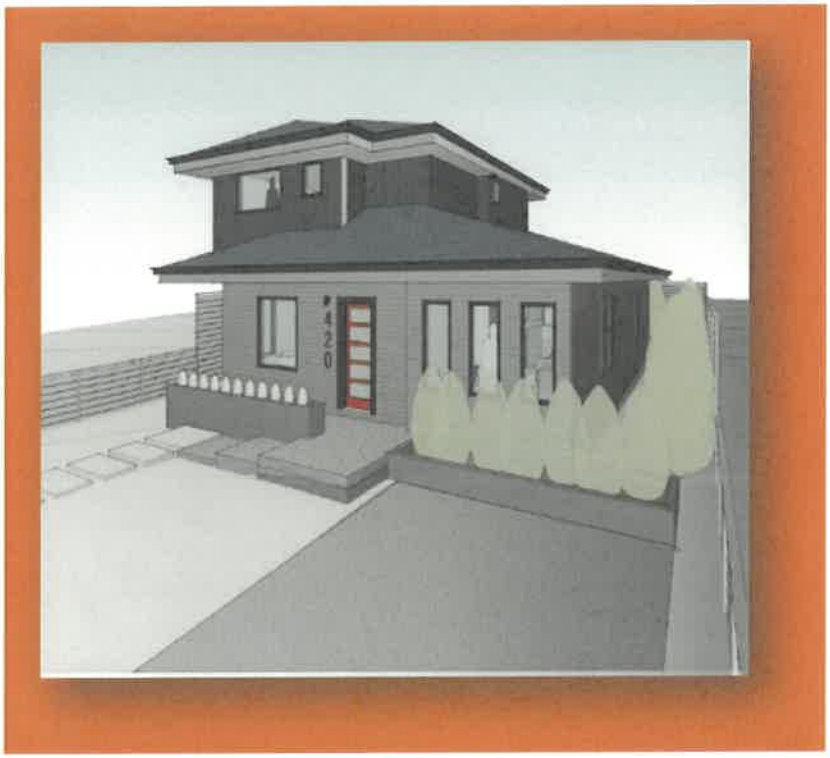
CITY OF SEAT PLEASANT, MD



420 69TH PLACE

SEAT PLEASANT, MD

REQUEST FOR QUOTES

NEW HOME CONSTRUCTION SERVICES

RFQ# 2022-601

SUBMSSION DEADLINE: JULY 8, 2021, 4:00 PM EST

INTRODUCTION

The City of Seat Pleasant ("*city*") invites qualified contractors to submit Request for Quotes (RFQ) for the new construction of a single-family home at 420 69th Pl., Seat Pleasant, MD 20743.

The *city* wishes to address one of its main economic development goals, to provide quality, energy-efficient, smart affordable homes to moderate - low-income first-time homebuyers. This goal is being addressed through acquisitions by the *city* of properties from its vacant property inventory.

Historically outside realtors and developers have purchased properties from the inventory and constructed houses sold at market rates thus pricing out low-income homebuyers. The current residential profile consists mainly of houses built between 1930 and 1960. During this time housing construction did not require standards for energy efficiency, smart technology features, or other amenities that today's homebuyer seeks. In view of this, respondents are encouraged to submit proposals that deliver quality housing plans with a diverse range of affordability, energy-efficient and Smart features.

The project site is a 5,000 square foot parcel located in Ward 5 of the *city*. It is approximately 1.5 miles from the Addison Road-Seat Pleasant and Capitol Heights Metro stations and the Washington, DC boarder.

The property was acquired by the *city* from the inventory through a tax-sale. Grant funding provided: The demolition of the 16+year vacant, dilapidated house on the property and the contractual services of the dp + partners, LLC Architect firm who provided design and construction documents. The property is shovel ready.

SCOPE OF WORK

The new home construction shall utilize the following attached specifications:

- Exhibit A – SDAT Real Property – District 18 Account # 2057792
- Exhibit B - Plat
- Exhibit C – Schematic Documents
- Exhibit D – Design Documents
- Exhibit E - Interior Finishes & Fixtures Packages
- Exhibit F – Geotechnical Engineering Report
- Exhibit G - Before and After Pics

QUALIFICATIONS

Qualified firms shall be properly licensed, insured and demonstrate verifiable experience in new construction, smart/energy-efficiency design, involving structural, mechanical, utility, and other systems within a new home. Contractors with substantive knowledge and experience working with smart technology, energy-efficient, and new construction projects preferred.

EVALUATION

RFQ evaluation criteria is as follows:

1. Experience and qualifications with new home construction projects.

2. Qualifications and experience of the construction team. Include resumes of key staff detailing background and related experience with residential projects.

3. Describe, suggestions for modular/prefab construction and include any experience with this type of construction. (Non-mandatory)

4. Include three (3) residential project references. Include project name or address, date started, date completed, budget, timeline, and contact number/name:

    - Category 1 – new construction or,
    - Category 2 – rehabilitation home/building or,
    - Category 3 - other references may include projects that incorporate sustainable, smart technology, lighting and/or energy/renewable design.

5. Familiarity with the City of Seat Pleasant and/or Prince George's County design standards, zoning, and new construction/rehabilitation guidelines.

6. Outline timeline for project completion

7. Detail your fee structure along with draw schedule to include each scope of work completed to accompany the draw.

SELECTION

- A *city* appointed selection committee will evaluate each response based upon the evaluation criteria. Virtual presentations may be required for further evaluation of contractor's abilities.
- The *city* shall enter negotiations with the most responsive firm to negotiate fees and finalize a contract. If the selection committee is unable to negotiate a satisfactory fee structure for the services with the responsive firm, negotiations will be formally terminated and negotiations will begin with the next highest scoring firm. The selection process will be repeated until a selection is made.
- Selected bidder will be notified via email from k.rhoda@seatpleasantmd.gov.
- Upon selection the *city* will schedule a pre-construction meeting to discuss all phases of construction.

QUESTIONS

Firms may submit questions for clarification in writing only to:

Veronica Owens, Project Consultant: veronica@monarchbutterfly.net

or

Kyrthlyn Rhoda, Grant Manager: kyrthlyn.rhoda@seatpleasantmd.gov

Please reference RFQ # 2022-601 in the subject line.

SUBMISSION

SUBMITTALS DEADLINE: JULY 8, 2022, 4:00 PM EST

- One (1) electronic copy: k.rhoda@seatpleasantmd.gov
  Subject line: RFQ #2022-601

- Two (2) sealed hard copies: RFQ #2022-601
  Attn: Kyrthlyn Rhoda, Grant Manager
  City of Seat Pleasant
  6301 Addison Road
  Seat Pleasant, MD 20743

SCHEDULE

SCOPE	DATE
Issuance of RFQ	June 10, 2022
Pre-Proposal Meeting/Site visit	June 23, 2022
Deadline Submission questions	July 1, 2022
Deadline for RFQ Submissions	July 8, 2022
Submission reviews completed	July 15, 2022
Interviews completed	July 22, 2022
Selection of Contractor	July 29, 2022
Project Fee Negotiation completed	August 5, 2022
Legal review completed	August 12, 2022
Notice Given to Proceed	August 15, 2022

***TIMELINE IS SUBJECT TO CHANGE**

BIDDERS

- Include bid pricing in detailed Scope of Work.
- Pricing should include labor and materials
- Lump sum and square footage bids will not be reviewed.
- Express all bid pricing in whole dollars only
- Responses must include provisions for the following additional requirements:
    - Section 3 (economic opportunities for low- and very-low-income individuals and businesses) participation and reporting.
    - MBE/WBE (minority-, woman-, and veteran-owned business) participation and reporting.
    - Plans include certified subcontractors and suppliers as well as % of self-performed work by certified businesses
    - Contractor shall pay sub-contractors wages based on federal or local minimum wage and aligned with the Davis Bacon Act
    - Expenses related to the provision of temporary utilities (electric, gas, water, and telephone services) and utility consumption during construction until a completion of work are the responsibility of the *city*
    - Temporary toilet facilities are the responsibility of the contractor
    - Worksite and material security are the responsibility of the contractor
    - Inclusion of current Energy Star requirements and new construction certification are required.
    - All receipts, invoices and other proof of payment must be retained and presented upon request by the *city*.
    - Change orders must be submitted in writing and approved before agreed upon scope of work and contract price can be adjusted.
    - All Work will be guaranteed through the general contractor through a one year home warranty

GUIDELINES

1. All proposals submitted will be considered for new home construction services only. The *city* would be responsible for marketing and selling the homes to eligible homebuyers.

2. By submitting a response, Respondents represent and warrant that all information provided in the response submitted shall be true, correct, and complete. Respondents who provide false, misleading, or incomplete information, whether intentional or not, may be excluded.

3. Cost of Responses – The City will not be responsible for the costs incurred by anyone in the submittal of responses.

4. Contract Negotiations – This RFQ is not a contract or a commitment of any kind. If this RFQ results in a contract offer by the *city* the specific scope of work, associated fees, and other contractual matters will be determined prior to contract execution.

5. The City reserves the right to terminate the qualification process at any time; to reject any or all proposals; to change the schedule and dates for responses, interviews and other dates; to waive formalities and minor irregularities in the proposals received; evaluate the responses submitted; candidates for the submittal of more detailed or alternate proposals; accept any submittal or portion of submittal; reject any or all Respondents submitting responses, should it be deemed in the City's best interest; or cancel the entire process.

6. The Respondent shall submit the appropriate professional liability insurance prior to beginning any work

7. The *city* further reserves the right to cancel or amend this RFQ at any time and will attempt to notify recipients accordingly.

8. Contractors acknowledges by submitting a proposal that any band all information may be subject to the Public Records law of Maryland.

9. The *city* reserves the right to engage in discussions or negotiations with none, any, or all bidders as part of the selection process. Based on the suitability of responses received by the submission due date, the *city* reserves the right, at its sole discretion, to accept or reject any or all submissions and reissue this RFP at a future date.

10. By submitting a bid, the respondent agrees the bid proposal and price(s) shall be valid for one-hundred and twenty (120) days from the bid due date, or until the *city* and contractor have signed a contract, whichever comes first.

EXHIBIT A – SDAT REAL PROPERTY
DISTRICT 18 ACCOUNT # 2057792

Real Property Data Search ( )
Search Result for PRINCE GEORGE'S COUNTY

View Map | View GroundRent Redemption | View GroundRent Registration

Special Tax Recapture: None

Account Identifier: District - 18 Account Number - 2057792

Owner Information

Owner Name:	SEAT PLEASANT CITY OF	**Use:**	EXEMPT
		Principal Residence:	NO
Mailing Address:	6301 ADDISON RD SEAT PLEASANT MD 20743-2230	**Deed Reference:**	/42619/ 00417

Location & Structure Information

Premises Address:	420 69TH PL CAPITOL HEIGHTS 20743-0000	**Legal Description:**	LOTS 45 & 46

Map:	Grid:	Parcel:	Neighborhood:	Subdivision:	Section:	Block:	Lot:	Assessment Year:	Plat No:	A-0043
0066	00B3	0000	18034700.17	4700		QUE		2021	Plat Ref:	

Town: SEAT PLEASANT

Primary Structure Built	Above Grade Living Area	Finished Basement Area	Property Land Area	County Use
			5,000 SF	901

Stories	Basement	Type	Exterior	Quality	Full/Half Bath	Garage	Last Notice of Major Improvements
			/				

Value Information

	Base Value	Value As of 01/01/2021	Phase-in Assessments As of 07/01/2021	As of 07/01/2022
Land:	45,100	60,200		
Improvements	0	0		
Total:	45,100	60,200	50,133	55,167
Preferential Land:	0	0		

Transfer Information

Seller: GRIMALDI MICHELE R	**Date:** 10/11/2019	**Price:** $16,277
Type: NON-ARMS LENGTH OTHER	**Deed1:** /42619/ 00417	**Deed2:**
Seller: AMDM GENERAL PARTNERSHIP	**Date:** 03/31/1995	**Price:** $69,900
Type: ARMS LENGTH IMPROVED	**Deed1:** /10083/ 00116	**Deed2:**
Seller: KRAFT,PAUL E & MARGARET R	**Date:** 12/21/1992	**Price:** $57,103
Type:	**Deed1:** /08575/ 00557	**Deed2:**

Exemption Information

Partial Exempt Assessments:	**Class**	07/01/2021	07/01/2022
County:	690	50,133.00	55,167.00
State:	690	50,133.00	55,167.00
Municipal:	690	50,133.00|55,167.00	50,133.00|55,167.00

Special Tax Recapture: None

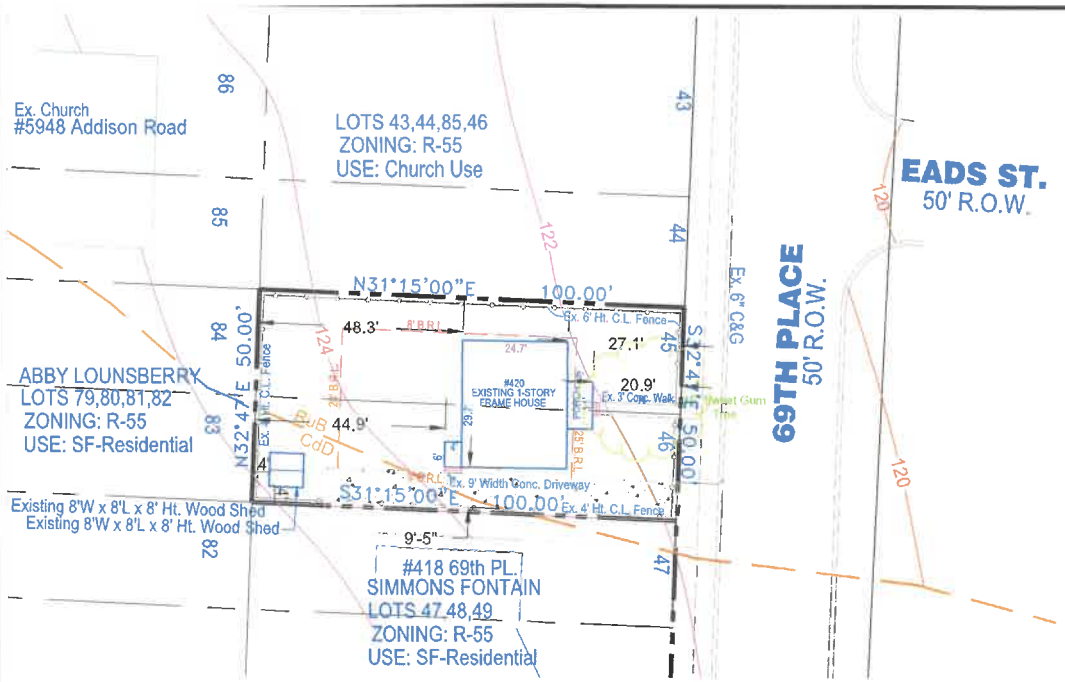
Homestead Application Information

Homestead Application Status: No Application

Homeowners' Tax Credit Application Information

Homeowners' Tax Credit Application Status: No Application **Date:**

EXHIBIT B – PLAT



VICINITY/LOCATION MAP
420 69th Place
1"=2000'

GENERAL SITE NOTES

1. PROPERTY ADDRESS: 420 69th Place
   Capitol Heights, MD 20743
2. TOTAL PROPERTY AREA: 0.115 Ac.
   Block QUE/Lots 45 & 46-L.42619/F.417
3. ZONING INFORMATION:
   a. Lot Zoning: R-55
   b. Subdivision: Seat Pleasant Heights
   c. Tax Account Nbr: 2057792
   OWNER(S) OF RECORD: City of Seat Pleasant
   d. Tax Map Grid: 066-B3
   e. WSSC Grid: 201NE06
   f. Planning Area: 72
   g. COG Traffic Analysis Zone: 1048
   h. Councilmanic District: 7
   i. Election District: 18 (Seat Pleasant)
   j. General Plan Tier: Developed
   k. Water Category:W-3 (Existing Community System)
   l. Sewer Category: S-3 (Existing Community System)
   m. Water & Sewer Envelope: Existing Community System
   n. Watershed: Lower Beaverdam Creek
4. TOTAL DISTURBED AREA=0 Sq.ft.
5. Adjacent property owners indicated as shown on plan.
6. Known Historical Sites (including cemeteries): None.
7. MINIMUM BUILDING RESTRICTION LINES:
   a. Front (Along 69th Place): 25'
   b. Side: 17' total 8' minimum
   c. Rear: 20'
8. Water and Sewer Existing
9. Existing Lot Coverage= 1,603 Sq.Ft. Impervious/32.0%

EXISTING SOIL TYPES

RuB-Map Unit Name:Russett-Christiana-Urban land complex, 0 to 5 percent slopes
K Factor:.49
Hydrologic Group:D
Drainage Class:Moderately well drained
Map Unit:RuB
Hydric Ratng:0

CdD-Map Unit Name:Christiana-Downer-Urban land complex, 5 to 15 percent slopes
K Factor:.49
Hydrologic Group:D
Drainage Class:Moderately well drained
Map Unit:CdD
Hydric Ratng:0

811 Know what's below. Call before you dig.

CALL MISS UTILITY AT 811 BEFORE YOU DIG

DIGITERRA

NO.	REVISION	BY	DATE

SHEET TITLE: EXISTING SITE PLAN
PROJECT TITLE: 420 69TH PLACE LOTS 45 & 46 SEAT PLEASANT HEIGHTS SUBDIVISION
CLIENT: NEHEMIAH MANAGEMENT 420 69TH PLACE CAPITOL HEIGHTS, MARYLAND 20743

DIGITERRA design
LANDSCAPE ARCHITECTS SITE PLANNERS LAND DEVELOPMENT CONSULTANTS
PROJECT NO. 219.M27 | DRAWN BY: DVD | CHECKED BY: CT | S/C REVIEW BY: PL | SURVEYED BY: DVD | PRINCE GEORGE'S

FILE 220-1019
DATE OCT. 21, 2020
SCALE 1" = 20'
PLAN NUMBER 1 of 1

EXHIBIT C – SCHEMATIC DOCUMENT

OPTION 3

ROOF

FLOOR PLANS

STREET VIEW

GROUND FLOOR

2ND FLOOR

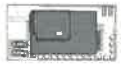
GREAT ROOM

DINING / KITCHEN

WINTER SHADOWS

FALL EQUINOX

WINTER SOLSTICE



SUMMER SHADOWS

SPRING EQUINOX

SUMMER SOLSTICE

REAR YARD VIEW

ELEVATIONS

WEST

SOUTH

EAST

NORTH

420 69th Place:

VACANT HOME PROGRAM: RESIDENCE SHOWCASE

dp+partners

Date 01/03/22

EXHIBIT D – DESIGN DOCUMENT

420 69TH PLACE

CITY OF SEAT PLEASANT: VACANT HOME PROGRAM

420 69TH PLACE SEAT PLEASANT MD 20743

SUBMISSION: 50% DESIGN DEVELOPMENT SUBMISSION - 02. 11. 2022

VICINITY MAP

LOCATION MAP

PROFESSIONAL CERTIFICATION

THE CONTRACT DOCUMENTS FOR THE INDICATED PUBLIC IMPROVEMENT WERE PREPARED UNDER MY SUPERVISION AND, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THEY COMPLY WITH ALL OF THE RELEVANT BUILDING CODES AND GUIDELINES ENFORCED BY THE STATE OF MARYLAND

I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED UNDER THE LAWS OF THE STATE OF MARYLAND

LICENSE NUMBER:

Danny L. Williams

NAME

ABBREVIATIONS

@	ANGLE	FHS	FIRE HOSE STATION	OH	OVERHEAD	W	WAT
@	AT	FH	FULL HEIGHT	OPG	OPENING	W	WEB
℄	CENTERLINE	FHMS	FLAT HEAD MACHINE SCREW	OPP	OPPOSITE	W	WIDTH, WIDE
CHAN	CHANNEL	FHW	FLAT HEAD WOOD SCREW	PAR	PARALLEL	W/	WITH
#	NUMBER	FIN	FINISHED	PART BD	PARTICLE BOARD	WAD	WASHER/DRYER
PERP	PERPENDICULAR	FLR	FLOOR(ING)	PED	PEDESTAL	WO	WITHOU
PL	PLATE	FLUOR	FLUORESCENT	PFAB	PREFABRICATE(D)	W	WATER CLOSET
⌀	DIAMETER	FRP	FIBER REINFORCED PLASTIC	PFIN	PREFINISHED	W	WOOD
A	AMPERES	FS	FULL SIZE	PLAM	PLASTIC LAMINATE	W	WIDE FLANGE
AIR CONDITIONING	AIR CONDITIONING	FSP	FIRE STANDPIPE	PLF	POUNDS PER LINEAR FOOT	W	WALL
AC	ALTERNATING CURRENT	FT	FEET, FOOT	PNL	PANEL	WH	WALL HYDRANT
ACT	ACOUSTICAL CEILING TILE	F	FULL WIDTH	PNT	PAINT(ED)	WSC	WAINSCOAT
ADJ	ADJACENT	FUT	FUTUR	POL	POLISHED	W	WEIGH
AFF	ABOVE FINISHED FLOOR	GA	GAGE, GAUGE	PREP	PREPARATION	WT	WALL TO WALL
AL	ALUMINU	GC	GENERAL CONTRACT(OR)	PSF	POUNDS PER SQUARE FOOT	W	
ALT	ALTERNATE	GFI	GROUND FAULT INTERRUPTER	PSI	POUNDS PER SQUARE INCH		
APPD	APPROVED	GL	GLASS, GLAZING	PT	POINT		
BET	BETWEE	GWB	GYPSUM WALL BOARD	PTN	PARTITION		
BLK	BLOCK	HB	HOSE BIB	PWD	PLYWOOD		
BLKG	BLOCKING	HC	HOLLOW CORE	QT	QUARRY TILE		
BOC	BOTTOM OF CURB	HDR	HEADER	R	RISER		
BOS	BOTTOM OF SLAB	HM	HOLLOW METAL	RA	RETURN AIR		
CLG	CEILING	HOR	HORIZONTAL	RAD	RADIUS		
CLR	CLEAR(ANCE)	HT	HEIGH	RD	ROOF DRAIN		
CM	CONCRETE MASONRY UNIT	HTG	HEATING	REC	RECESSED		
COL	COLUMN	HVAC	HEATING/VENTILATINGAIR COND	REF	REFERENCE		
COMB	COMBINATION	H	HOT WATER	REQ	REQUIRE(D)		
CONC	CONCRETE	HW	HARDWOOD	RES	RESILIENT		
CONST	CONSTRUCTION	ID	INSIDE DIAMETER	REV	REVISION(S), REVISED		
CONT	CONTINUOUS OR CONTINUE	I	INC				
CPT	CARPET(ED)	INCL	INCLUDE(D), (ING)	RH	RIGHT HAND		
CT	CERAMIC TILE	INFO	INFORMATION	RM	ROOM		
CUF	CUBIC FOOT	INST	INSTALLE(D), (ATION)	RO	ROUGH OPENING		
CW	COLD WATER	INT	INTERIOR	S	SOUT		
CWR	CHILLED WATER RETURN	JB	JUNCTION BOX	SC	SOLID CORE		
CWS	CHILLED WATER SUPPLY	JC	JANITOR'S CLOSET	SCH	SCHEDUL		
DBL	DOUBLE	JT	JOINT	SEC	SECTION		
DF	DRINKING FOUNTAIN	KD	KNOCK DOWN	SF	SQUARE FOOT		
DIAG	DIAGONAL	KO	KNOCK OUT	SHT	SHEE		
DIAM	DIAMETER	K	KILOWATT	SHA	SHELF AND ROD		
DIM	DIMENSION	LF	LENGTH	SIM	SIMILAR		
DIV	DIVISION	LAM	LAMINATE(D)	SPEC	SPECIFICATION(S)		
DN	DOWN	LAV	LAVATORY	SPKR	SPEAKER		
DTL	DETAIL	LBS	POUNDS	SQ	SQUARE		
DWG	DRAWING	LF	LINEAR FEET	SS	STAINLESS STEEL		
DWR	DRAWER	LG	LONG	STC	SOUND TRANSMISSION CLASS		
E	EAST	LH	LEFT HAND	STD	STANDARD		
EA	EACH	LVT	LAMINATED VINYL TILE	STL	STEEL		
ELEC	ELECTRIC(AL)	LT	LIGHT	SU	SUSPENDE		
EL	ELEVATION	MAS	MASONRY	SYS	SYSTEM		
ELEV	ELEVATOR	MAX	MAXIMUM	T	TREAD		
EMER	EMERGENCY	MED	MEDIUM	TEL	TELEPHONE		
ENCL	ENCLOSE(URE)	MEZZ	MEZZANIN	THK	THICKNESS)		
EQ	EQUAL	MFR	MANUFACTURE(R)	TKBD	TACKBOARD		
EQPT	EQUIPMEN	MIN	MINIMU	TOC	TOP OF CURB		
EST	ESTIMATE	MISC	MISCELLANEOUS	TOL	TOLERANCE		
EX	EXHAUS	MLD	MOLDING, MOULDING	TOS	TOP OF SLAB		
EXIST	EXISTING	MT	MOUNT(ED), (ING)	TV	TELEVISION		
EXP	EXPOSED	MTL	METAL	TYP	TYPICAL		
EXT	EXTERIOR	MW	MILLWORK	UN	UNFINISHE		
FA	FIRE ALARM	N	NORTH	UNO	UNLESS NOTED OTHERWISE		
FAB	FABRIC	NAT	NATURAL	V	VOLT		
FBO	FURNISHED BY OTHERS	NIC	NOT IN CONTRACT	VAT	VINYL ASBESTOS TILE		
FBT	FURNISHED BY TENANT	NOM	NOMINAL	VERT	VERTICAL		
FD	FLOOR DRAIN	NRC	NOISE REDUCTION COEFFICIENT	VIF	VERIFY IN FIELD		
FE	FIRE EXTINGUISHER	NTS	NOT TO SCALE	VT	VINYL TILE		
FEC	FIRE EXTINGUISHER CABINET	OA	OVERALL	VWC	VINYL WALL COVERING		
FFE	FINISHED FLOOR ELEVATION	OC	ON CENTER(S)				
FFL	FINISHED FLOOR LINE						

DRAFTING SYMBOLS

- XX — CODED NOTE
- XX — PARTITION TAG
- XX — WINDOW TAG
- XXX — DOOR TAG
- ROOM NAME 101 — ROOM NAME LABEL
- XXXX — DRAWING TITLE
- (WALL) SECTION
- EXTERIOR ELEVATION
- INTERIOR ELEVATION
- DETAIL
- ELEVATION TARGET
- COLUMN REFERENCE

MATERIAL SYMBOLS

- NEW PARTITION
- EXISTING PARTITION TO BE REMOVED
- BASE BUILDING / EXISTING PARTITION TO REMAIN
- INSULATION
- ALUMINUM
- BRASS
- BRICK
- CMU
- CONCRETE
- CONCRETE (PRECAST)
- GYPSUM BOARD
- POROUS FILL (STONE OR GRAVEL)
- GRASS
- STONE (NATURAL)
- WOOD (FINISHED)
- WOOD (ROUGH BLOCKING)
- PERM PAVEMENT
- CERAMIC TILE - 1
- CERAMIC TILE - 2
- LVT
- SILESTONE
- ASPHALT ROOF
- HARDWOOD FLOORING

LIST OF DRAWINGS

		50% DESIGN DEVELOPMENT FEBRUARY 11, 2022
CS	COVER SHEET	●
G001	PROJECT DATA	●
G002	ENERGY DETAILS	●
	ARCHITECTURE	
A.01	ARCHITECTURAL SITE PLAN	
A.02	FLOOR PLANS	●
A.03	ENLARGED FLOOR PLANS	
A.04	ELEVATIONS	●
A.05	SECTIONS	●
A.06	SCHEDULES	
A.07	SECTION DETAILS	
A.08	SECTION DETAILS	

APPROVALS

080822

ARCHITECT / DESIGN TEAM

dp+partners

400 7th STREET, NW SUITE 204
WASHINGTON , DC 20004

CIVIL ENGINEERS

SERA ENGINEERED

4300 GEORGIA AVENUE NW
WASHINGTON DC 20011

STRUCTURAL ENGINEERS

3D STRUCTURAL ENGINEERING

4903 AUBURN AVENUE SUITE 204
BETHESDA MD 20814

MECHANICAL ELECTRICAL PLUMBING

KK ENGINEERING

8850 COLUMBIA PKWY SUITE 314
COLUMBIA MD 21045

CLIENT NAME

CITY OF SEAT PLEASANT

PROJECT ADDRESS

420 69TH PLACE
SEAT PLEASANT MD 20743

PROJECT NAME

420 69TH PLACE - MCM

ISSUE	DATE	
01	12 2022	SPR - SCHEMATIC DESIGN SUBMISSION
02	11 2022	SPR - DESIGN DEVELOPMENT SUBMISSION

REVISIONS

DATE	02. 11. 2022
SCALE	AS NOTED
DRAWN BY	
CHECKED BY	DW
JOB NO	Project Number
SEAL	

DRAWING TITLE

COVER SHEET

SHEET NO

CS

C:\Users\ashley.WDesktop\Documents\420_69TH_CS01_Ashley.dwt
2/23/2022 2:58:12 AM

ZONING & BUILDING CODE DATA:

PROJECT SCOPE:

CODES:

1. ALL NEW WORK ASSOCIATED WITH THIS SET SHALL COMPLY WITH THE FOLLOWING AS AMENDED BY PRINCE GEORGES COUNTY AND THE STATE OF MARYLAND

BUILDING CODES/STANDARDS
- 2018 IBC, INTERNATIONAL BUILDING CODE, SUBTITLE 4 PRINCE GEORGES COUNTY CODE
- 2018 IRC, INTERNATIONAL RESIDENTIAL CODE
- 2018 IECC, INTERNATIONAL ENERGY CONSERVATION CODE
- 2018 IEBC, INTERNATIONAL EXISTING BUILDING CODE
- COMAR 29.06.01, STATE OF MARYLAND FIRE PREVENTION CODE
- 2018 NFPA 1, FIRE CODE
- 2018 NFPA 101, LIFE SAFETY CODE
- COMAR 09.12.58, MARYLAND BUILDING REHABILITATION CODE
- 2015 IEBC, INTERNATIONAL EXISTING BUILDING CODE
- COMAR 09.12.53, MARYLAND ACCESSIBILITY CODE
- 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

MECHANICAL/ ENERGY CODE
- 2018 IMC, INTERNATIONAL MECHANICAL CODE
- 2018 IECC, INTERNATIONAL ENERGY CONSERVATION CODE
- 2018 WSSC PLUMBING AND FUEL GAS CODE
- 2020 NFPA 70, NATIONAL ELECTRIC CODE
- 2018 IPC, INTERNATIONAL PLUMBING CODE
- 2018 IFGC, INTERNATIONAL FUEL GAS CODE

2. DIMENSIONS INDICATED ON THE FLOOR PLAN ARE NOMINAL AND ARE TYPICALLY TAKEN TO THE OUTSIDE FACE OF FINISHED WALL PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY AND CONFIRM DIMENSIONS SHOWN

EXISTING SOIL TYPES:

RuB-Map Unit Name:Russett-Christiana-Urban land complex, 0 to 5 percent slopes
K Factor .49
Hydrologic Group:D
Drainage Class:Moderately well drained
Map Unit: RuB
Hydric Rating:0

CdD-Map Unit Name:Christiana-Downer-Urban land complex, 5 to 15 percent slopes
K Factor .49
Hydrologic Group:D
Drainage Class:Moderately well drained
Map Unit: CdD
Hydric Rating:0

COUNTY CODE DATA:

THE COUNTY CODE - PRINCE GEORGE'S COUNTY, MARYLAND 2019
(SEC. 27-109) R-55 1 FAMILY DETACHED RESIDENTIAL

(SEC. 27-430)
THE PURPOSES OF THE R-55 ZONE ARE:
- A. TO PROVIDE FOR AND ENCOURAGE VARIATION IN THE SIZE, SHAPE, AND WIDTH OF ONE-FAMILY DETACHED RESIDENTIAL SUBDIVISION LOTS, IN ORDER TO BETTER UTILIZE THE NATURAL TERRAIN
- B TO FACILITATE THE PLANNING OF HIGHER DENSITY ONE-FAMILY RESIDENTIAL DEVELOPMENTS WITH SMALL LOTS AND DWELLINGS OF VARIOUS SIZES AND STYLES
- C. TO ENCOURAGE THE PRESERVATION OF TREES AND OPEN SPACES
- D TO PREVENT SOIL EROSION AND STREAM VALLEY FLOODING.

(SEC. 27-441)
PERMITS SMALL-LOT RESIDENTIAL SUBDIVISIONS, PROMOTES HIGH DENSITY, SINGLE-FAMILY DETACHED DWELLINGS.

- STANDARD LOT SIZES - 6,500 SQUARE FEET
- MAXIMUM DWELLING UNITS PER NET ACRE - 8.70
- ESTIMATED AVERAGE DWELLING UNITS PER ACRE - 4.2

SEC. 27-442. - REGULATIONS
LOT COVERAGE AND GREEN AREA (TABLE II)

LOT COVERAGE (MAXIMUM % OF NET LOT AREA) 30%

YARDS (TABLE IV)

FRONT YARD: 25'
1. TWENTY (20) FEET FOR ZERO LOT LINE DEVELOPMENT. WHEN THE BUILDING HEIGHT EXCEEDS THIRTY-FIVE (35) FEET, THE MINIMUM FRONT YARD SHALL BE INCREASED BY ONE (1) FOOT FOR EACH ADDITIONAL FOOT OF BUILDING HEIGHT.
2. TOTAL FRONT YARD SQUARE FOOTAGE = CODE REFERENCES

SIDE YARD: 17/8'
1. FOR EACH ONE (1) FOOT THE BUILDING EXCEEDS THIRTY-FIVE (35) FEET IN HEIGHT, THE MINIMUM SIDE YARDS SHALL BE INCREASED BY ONE-HALF (1/2) FOOT
2. IF THE RECORD LOT IS AT LEAST FIFTY (50), BUT NOT MORE THAN FIFTY-TWO (52), FEET WIDE AT THE FRONT BULDING LINE AND WAS RECORDED ON A SUBDIVISION PLAT PRIOR TO NOVEMBER 29, 1949, EACH YARD MAY BE REDUCED TO SEVEN (7) FEET.

REAR YARD: 20'

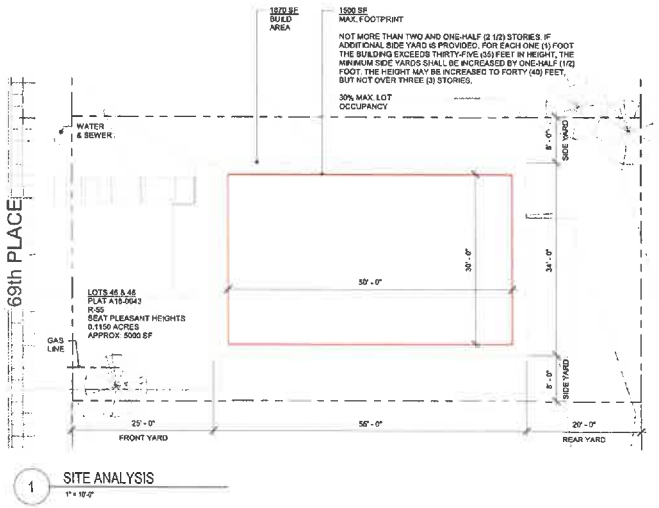
MAXIMUM BUILDING HEIGHT: 35'
1. NOT MORE THAN TWO AND ONE-HALF (2 1/2) STORIES. IF ADDITIONAL SIDE YARD IS PROVIDED IN ACCORDANCE WITH TABLE IV, FOOTNOTE 8, THE HEIGHT MAY BE INCREASED TO FORTY (40) FEET, BUT NOT OVER THREE (3) STORIES.

GENERAL SITE NOTES

1. PROPERTY ADDRESS: 420 69TH PLACE
   CAPITOL HEIGHTS MD 20743
2. TOTAL PROPERTY AREA: 0.115 AC.
   BLOCK QUE/LOTS 45 & 46-, 42619/F 417
3. ZONING INFORMATION:
   - A. LOT ZONING: R-55
   - B. SUBDIVISION: SEAT PLEASANT HEIGHTS
   - C. TAX ACCOUNT NBR: 2057792
   - D. TAX MAP GRID: 088-B3
   - E. WSSC GRID: 201NE06
   - F. PLANNING AREA: 72
   - G. COG TRAFFIC ANALYSIS ZONE: 1048
   - H. COUNCILMAN DISTRICT: 7
   - I. ELECTION DISTRICT: 16 (SEAT PLEASANT)
   - J. GENERAL PLAN TIER: DEVELOPED
   - K. WATER CATEGORY:W-3 (EXISTING COMMUNITY SYSTEM)
   - L. CATEGORY: S-3 (EXISTING COMMUNITY SYSTEM)
   - M. WATER & SEWER ENVELOPE: EXISTING COMMUNITY SYSTEM
   - N. WATERSHED: LOWER BEAVERDAM CREEK

4. TOTAL DISTURBED AREA=0 SQ FT.
5. ADJACENT PROPERTY OWNERS INDICATED AS SHOWN ON PLAN.
6. KNOWN HISTORICAL SITES (INCLUDING CEMETERIES): NONE.
7. MINIMUM BUILDING RESTRICTION LINES:
   A. FRONT (ALONG 69TH PLACE): 25'

LOTS 45 & 46
SEAT PLEASANT HEIGHTS SUBDIVISION
NEHEMIAH MANAGEMENT
420 69TH PLACE
CAPITOL HEIGHTS, MARYLAND 20743
220-1918
OCT. 21, 2020
1" = 20'



1 SITE ANALYSIS
1" = 10'-0"

APPROVALS

ARCHITECT / DESIGN TEAM
dp+partners
400 7th STREET, NW SUITE 204
WASHINGTON , DC 20004
CIVIL ENGINEERS
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STRUCTURAL ENGINEERS
3D STRUCTURAL ENGINEERING
4903 AUBURN AVENUE SUITE 204
BETHESDA MD 20814
MECHANICAL ELECTRICAL PLUMBING
KK ENGINEERING
8850 COLUMBIA PKWY SUITE 314
COLUMBIA MD 21045

CLIENT NAME
CITY OF SEAT PLEASANT

PROJECT ADDRESS
420 69TH PLACE
SEAT PLEASANT MD 20743

PROJECT NAME
420 69TH PLACE - MCM

ISSUE	DATE	
01	11 2022	SPR - SCHEMATIC DESIGN SUBMISSION
02	11 2022	SPR - DESIGN DEVELOPMENT SUBMISSION

REVISIONS

DATE	02. 11. 2022
SCALE	AS NOTED
DRAWN BY	
CHECKED BY	DW
JOB NO.	Project Number
SEAL	

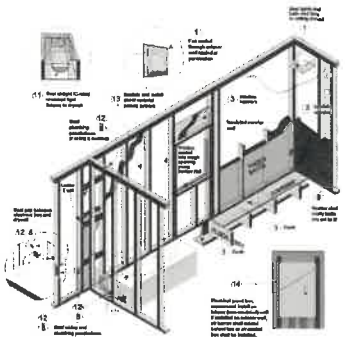
DRAWING TITLE
PROJECT DATA

SHEET. NO.
G.01

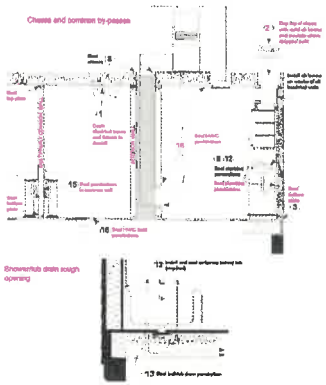
Table 402.4.2
Air Barrier and Insulation Inspection Component Criteria

NUMBER	COMPONENT	CRITERIA
1	Air barrier and thermal barrier	Exterior thermal envelope insulation for framed walls is installed in substantial contact and continuous alignment with building envelope air barrier. Breaks or joints in the air barrier are filled or repaired. Air permeable insulation is not used as a sealing material. Air permeable insulation is inside of an air barrier
2	Ceilings/attic	Air barrier in any dropped ceiling/soffit is aligned with insulation and any gaps are sealed. Attic access (except unvented attic), knee wall door, or drop down stair is sealed.
3	Walls	Cavities and headers are insulated. Junction of foundation and sill plate is sealed
4	Windows and doors	Space between windows/door jambs and framing is sealed.
5	Rim joists	Rim joists are insulated and include air barrier
6	Floors (including above-garage and cantilevered floors)	Insulation is installed to maintain permanent contact with underside of subfloor decking. Air barrier is installed at any exposed edge of insulation
7	Crawl space walls	Insulation is permanently attached to walls. Exposed earth in unvented crawl spaces is covered with Class I vapor retarder with overlapping joints taped
8	Shafts, penetrations	Duct shafts, utility penetrations, knee walls and flue shafts opening to exterior or unconditioned spaces are sealed.
9	Narrow cavities	Batts in narrow cavities are cut to fit, or narrow cavities are filled by nonconditioned insulation.
10	Garage separation	Air sealing is provided between the garage and conditioned spaces.
11	Recessed lighting	Recessed light fixtures are air tight, IC rated, and sealed to drywall. Exception: fixtures in unconditioned spaces.
12	Plumbing and wiring	Insulation is placed between outlets and plate. Batt insulation is cut to fit around wiring and plumbing, or insulation is sprayed to maintain consistent density.
13	Shower/tub on exterior wall	Showers and tubs on exterior walls have insulation and an air barrier separating them from the exterior wall
14	Electrical/phone box on exterior walls	Air barrier extends behind boxes or air-sealed-type boxes are installed
15	Common wall	Air barrier is installed in common wall between dwelling units
16	HVAC register boots	HVAC register boots that penetrate building envelope are sealed to subfloor or drywall.
17	Fireplace	Fireplace walls include an air barrier

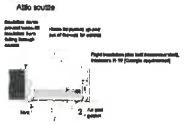
Air sealing key points



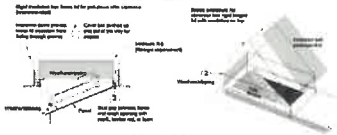
EXHAUST DUCTS IN SYSTEMS WHICH ARE DESIGNED TO OPERATE INTERMITTENTLY SHALL BE EQUIPPED WITH BACK-DRAFT DAMPERS. ALL EXHAUST DUCTS IN UNCONDITIONED SPACES SHALL BE INSULATED TO A MINIMUM OF R-4.



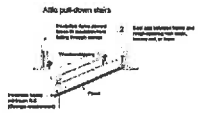
Attic scuttle



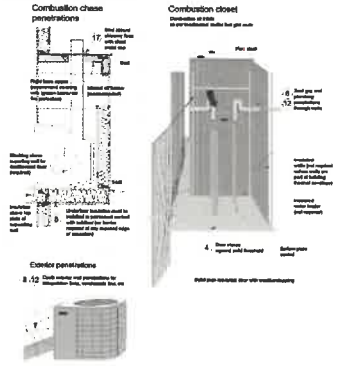
Attic pull-down stairs

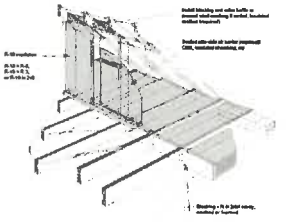


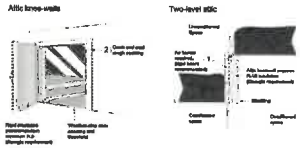
Attic pull-down stairs

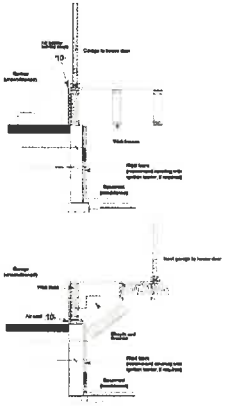


Appendix
2009 IECC
Air sealing key points continued

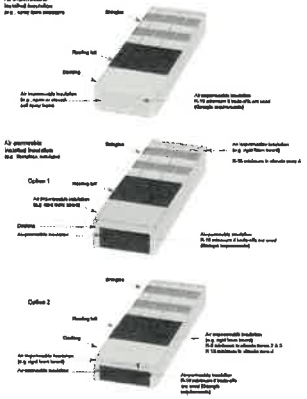






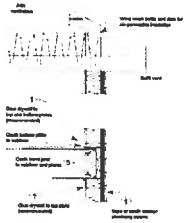


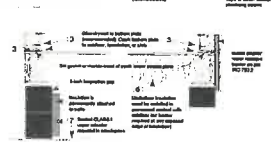
Appendix
2009 IECC
Roofline Installed Insulation Options



Window rough opening

Wall cross-section





1 ENERGY DETAILS
3/8" = 1'-0"

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CLIENT NAME
CITY OF SEAT PLEASANT

PROJECT ADDRESS
420 69TH PLACE
SEAT PLEASANT MD 20743

PROJECT NAME
420 69TH PLACE - MCM

ISSUE	DATE	
01	11 2022	35% - SCHEMATIC DESIGN SUBMISSION
02	11 2022	90% - DESIGN DEVELOPMENT SUBMISSION

REVISIONS

DATE	02. 11. 2022
SCALE	AS NOTED
DRAWN BY	
CHECKED BY	DW
JOB NO.	[illegible] Number
SEAL	

DRAWING TITLE
ENERGY DETAILS

SHEET NO.
G.02

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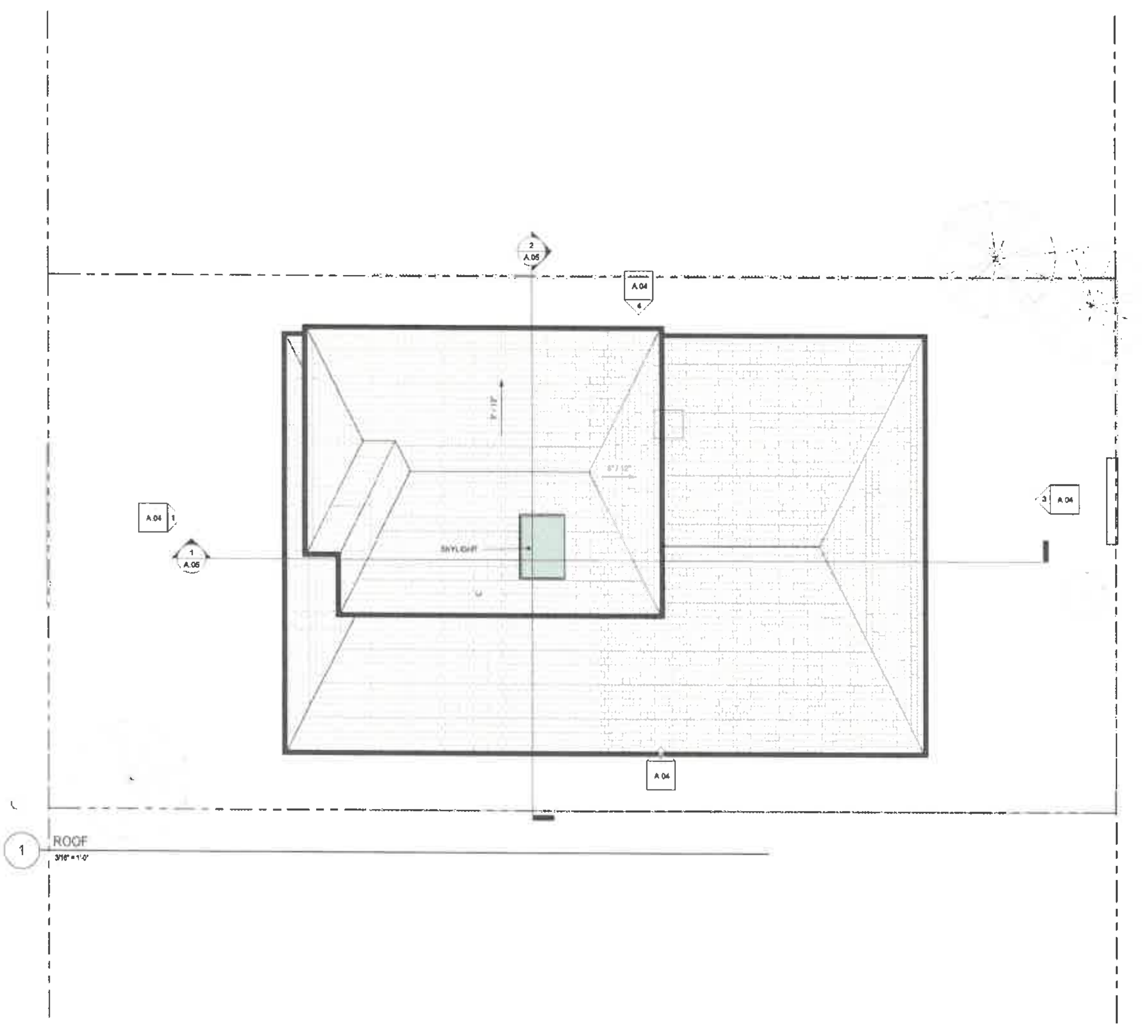

APPROVALS

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CLIENT NAME
CITY OF SEAT PLEASANT

PROJECT ADDRESS
420 69TH PLACE
SEAT PLEASANT MD 20743

PROJECT NAME
420 69TH PLACE - MCM

ISSUE DATE	
01. 17. 2022	30% - SCHEMATIC DESIGN SUBMISSION
02. 11. 2022	60% - DESIGN DEVELOPMENT SUBMISSION

REVISIONS

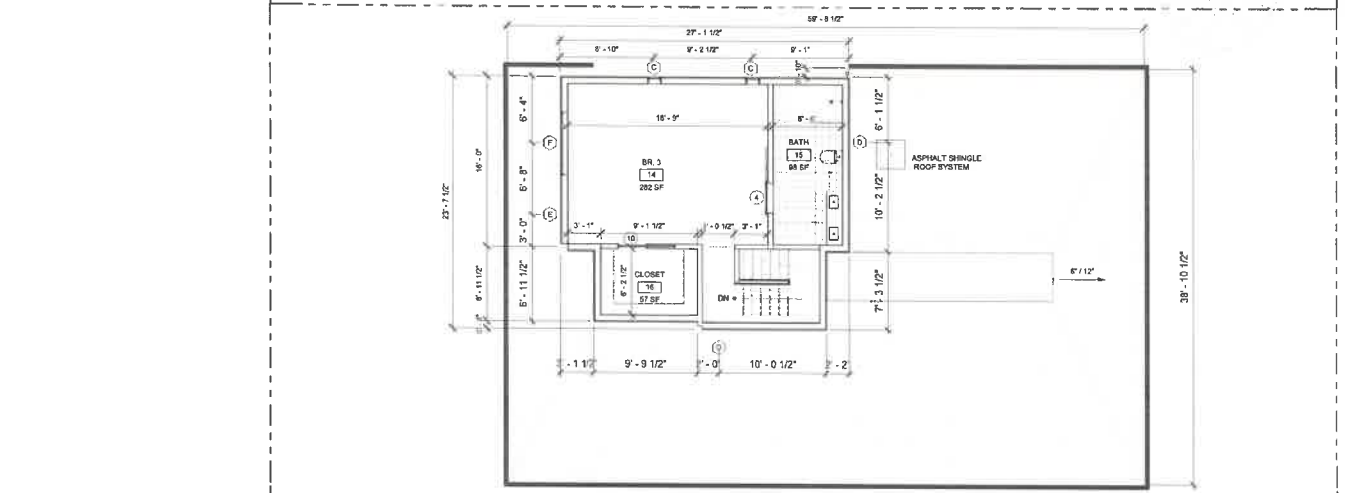
DATE	02. 11. 2022
SCALE	AS NOTED
DRAWN BY	
CHECKED BY	DW
JOB NO.	Number
SEAL	

DRAWING TITLE

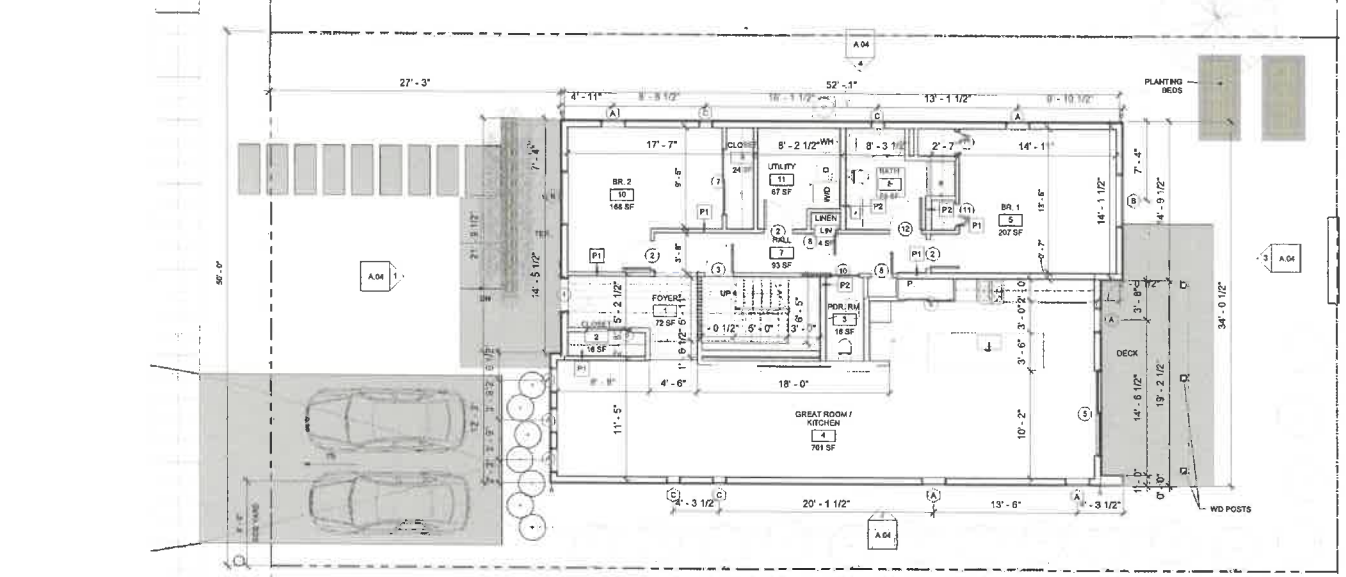
SITE PLAN

SHEET NO.

A.01



2 2ND FLOOR PLAN
3/16" = 1'-0"



1 GROUND FLOOR PLAN
3/16" = 1'-0"

GENERAL NOTES

1. THESE GENERAL NOTES PERTAIN TO ALL DRAWINGS.
2. ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISHED WALL OR CENTERLINE OF COLUMN UNLESS OTHERWISE NOTED.
3. UNLESS NOTED IN THE DRAWINGS, ALL TRANSITION ARE OF DIFFERENT FLOORING MATERIALS AT DOORWAYS SHALL OCCUR AT CENTERLINE OF DOORS.
4. PROVIDE WOOD BLOCKING AS REQUIRED FOR THE ATTACHMENT OF MISCELLANEOUS EQUIPMENT INCLUDING BUT NOT LIMITED TO, TOILET ACCESSORIES, DOOR HARDWARE, ELECTRICAL DEVICES, EQUIPMENT INDICATED, GRAB BARS, HANDRAILS AND CASEWORK - 16 GA GALVANIZED SHEET METAL CAN BE USED AS BLOCKING.
5. PROVIDE PROPERLY SPACED HORIZONTAL STEEL BRACING FOR FRAMING AS REQUIRED TO RESIST STUD ROTATION.
6. CONTRACTOR SHALL REVIEW IN ADVANCE ALL PORTIONS OF THE WORK TO VERIFY THAT THE WORK WILL NOT PROHIBIT COMPLETION OF THE PROJECT AS INTENDED IN THESE CONTRACT DOCUMENTS. ANY QUESTIONS SHALL BE PROMPTLY REFERRED TO THE ARCHITECTS FOR RESOLUTION.
7. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE.
8. ALL EXTERIOR DOOR ASSEMBLIES ARE INDICATED IN THE A700 SERIES. THE BUILDING IS TO BE SEALED, CAULKED, GASKETED AND WEATHERSTRIPPED. SEAL, CAULK AND GASKET AROUND PENETRATIONS, TYPICAL.
9. REFER TO BUILDING ELEVATIONS AND ELEVATION DETAILS FOR MASONRY PATTERNS.
10. REFER TO PLUMBING, HVAC AND ELECTRICAL DRAWINGS FOR LOCATIONS AND DESCRIPTIONS OF ACCESS PANELS, LOUVER OPENINGS, VENTILATORS, GRILLES, VALVE CABINETS, FIRE DAMPERS OR OTHER APPURTENANCES AFFECTING WALLS, CEILINGS OR FLOORS. PROVIDE NECESSARY LINTELS, SUPPORT AND ANCHORAGE. SEE STRUCTURAL NOTES FOR LINTEL REQUIREMENTS.

GENERAL NOTES: FLOOR PLANS

1. ALL DIMENSIONS ON UNIT PLANS ARE TO OUTSIDE FACE OF STUD UNLESS OTHERWISE NOTED. ALL WALLS TO BE UNRATED 2 x 4 TYPE UNLESS OTHERWISE NOTED. ALL WALLS ARE BASED ON 5/8" GYPSUM BOARD UNLESS NOTED OTHERWISE.
2. ALL INTERIOR UNITS WALLS AND CEILINGS TO HAVE PAINTED WOOD BASE TRIM INCLUDING MECHANICAL, UTILITY AND COAT CLOSETS.
3. ALL INTERIOR ELEVATIONS ARE DRAWN ASSUMING FINISH FACE OF GYPSUM BOARD UNLESS OTHERWISE.
4. REFER TO ENLARGED PLANS AND DETAILS FOR CONDITIONS REGARDING THE EXTERIOR SKIN.
5. ALL DOORS 4" FROM PERPENDICULAR STUD WALL AT HINGE SIDE UNLESS OTHERWISE NOTED
6. PROVIDE BLOCKING AS REQUIRED TO ACCOMMODATE UPPER CABINETS AT KITCHEN
7. TILE SHOWER/TUB WALLS TO CEILING. VERIFY FRAMING OF TUB / SHOWER WITH ACTUAL TUB / SHOWER SUPPLIED. CEMENTITIOUS BACKER BOARD SHALL BE USED AT ALL TUB / SHOWER AREAS. MOISTURE RESISTANT GYPSUM BOARD WILL NOT BE ACCEPTED AT THESE LOCATIONS.
8. INSULATE ALL PLUMBING RISERS IN WALL WITH BATT INSULATION.
9. TUBS / SHOWER AT RATED WALLS MUST HAVE CONTINUOUS RATING BEHIND TUB / SHOWER
10. VERIFY EXACT DIMENSIONS REQUIRED TO INSTALL MECHANICAL EQUIPMENT WITH MANUFACTURER BEFORE BUILDING ENCLOSURE WALLS AND FURRINGS.
11. REFER TO ID DRAWINGS AND AXX SERIES FOR INTERIOR ELEVATIONS.
12. REFER TO DOOR SCHEDULE ON SHEET AXXX FOR UNIT ENTRY DOORS.
13. ALL INTERIOR PARTITIONS ARE AS DESCRIBED BY ASSEMBLY TYPE P1 U.O.N
    - P1 -TYPICAL
    - P1A -5/8" WATER RESISTANT BD. IN BATHROOMS
    - P1B -DEMENTITIOUS BD. WHERE CERAMIC TILE IS INDICATED

APPROVALS

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CLIENT NAME
CITY OF SEAT PLEASANT

PROJECT ADDRESS
420 69TH PLACE
SEAT PLEASANT MD 20743

PROJECT NAME
420 69TH PLACE - MCM

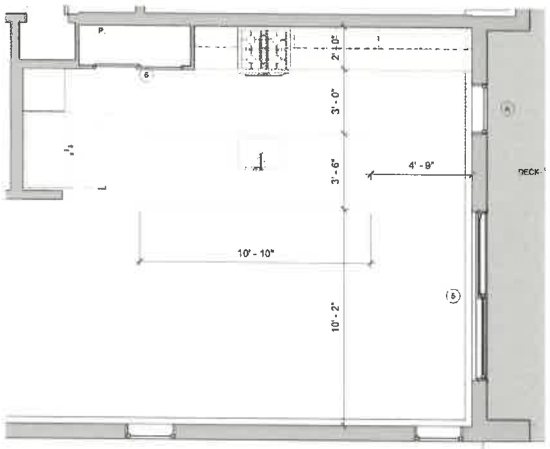
ISSUE	DATE
01	12 2022	SDP1 - SCHEMATIC DESIGN SUBMISSION
02	11 2022	SDP2 - DESIGN DEVELOPMENT SUBMISSION

REVISIONS

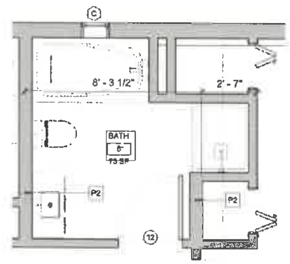
DATE	02. 11. 2022
SCALE	AS NOTED
DRAWN BY	
CHECKED BY	DW
JOB NO.	Project Number
SEAL	

DRAWING TITLE
FLOOR PLANS

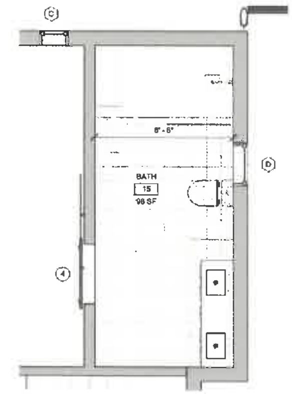
SHEET. NO
A.02



1 ENLARGED KITCHEN GROUND FLOOR PLAN
3/8" = 1'-0"



2 ENLARGED BATHROOM GROUND FLOOR PLAN
3/8" = 1'-0"



3 ENLARGED 2ND FLOOR BATHROOM PLAN
3/8" = 1'-0"

APPROVALS

ARCHITECT / DESIGN TEAM

dp+partners
400 7th STREET, NW SUITE 204
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COLUMBIA MD 21045

CLIENT NAME
CITY OF SEAT PLEASANT

PROJECT ADDRESS
420 69TH PLACE
SEAT PLEASANT MD 20743

PROJECT NAME
420 69TH PLACE - MCM

ISSUE DATE

01. 17. 2022	-	20% - SCHEMATIC DESIGN SUBMISSION
02. 11. 2022	-	50% - DESIGN DEVELOPMENT SUBMISSION

REVISIONS

DATE	02. 11. 2022
SCALE	AS NOTED
DRAWN BY	
CHECKED BY	DW
JOB NO.	Project Number
SEAL	

DRAWING TITLE

ENLARGED PLANS

SHEET NO.

A.03

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GENERAL NOTES

1. THESE GENERAL NOTES PERTAIN TO ALL DRAWINGS
2. ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISHED WALL OR CENTERLINE OF COLUMN UNLESS OTHERWISE NOTED.
3. UNLESS NOTED IN THE DRAWINGS, ALL TRANSITION ARE OF DIFFERENT FLOORING MATERIALS AT DOORWAYS SHALL OCCUR AT CENTERLINE OF DOORS.
4. PROVIDE WOOD BLOCKING AS REQUIRED FOR THE ATTACHMENT OF MISCELLANEOUS EQUIPMENT INCLUDING BUT NOT LIMITED TO, TOILET ACCESSORIES, DOOR HARDWARE, ELECTRICAL DEVICES, EQUIPMENT INDICATED, GRAB BARS, HANDRAILS AND CASEWORK - 16 GA GALVANIZED SHEET METAL CAN BE USED AS BLOCKING.
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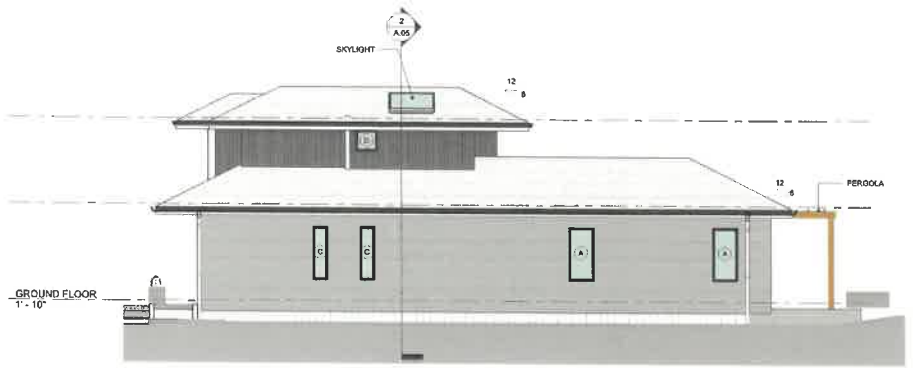
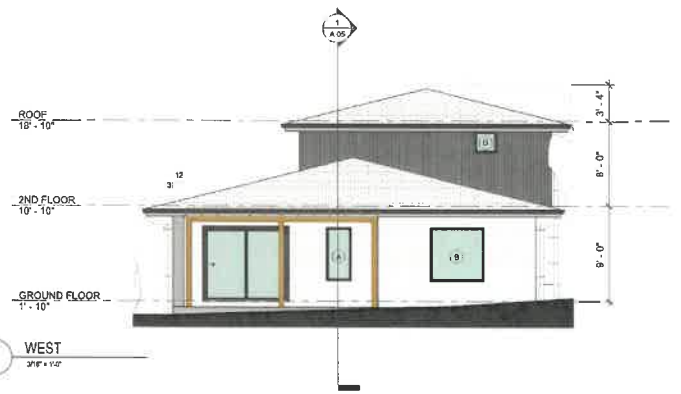


2 NORTH
3/16" = 1'-0"



3 WEST
3/16" = 1'-0"

1 EAST ELEVATION (69th Place)
3/16" = 1'-0"

4 SOUTH
3/16" = 1'-0"

APPROVALS

ARCHITECT / DESIGN TEAM

dp+partners
400 7th STREET, NW SUITE 204
WASHINGTON , DC 20004

CIVIL ENGINEERS
SERA ENGINEERED
4300 GEORGIA AVENUE NW
WASHINGTON DC 20011

STRUCTURAL ENGINEERS
3D STRUCTURAL ENGINEERING
4903 AUBURN AVENUE SUITE 204
BETHESDA MD 20814

MECHANICAL ELECTRICAL PLUMBING
KK ENGINEERING
8850 COLUMBIA PKWY SUITE 314
COLUMBIA MD 21045

CLIENT NAME
CITY OF SEAT PLEASANT

PROJECT ADDRESS
420 69TH PLACE
SEAT PLEASANT MD 20743

PROJECT NAME
420 69TH PLACE - MCM

ISSUE	DATE	
01_17_2022	-	SPR - SCHEMATIC DESIGN SUBMISSION
02_11_2022	-	SPR - DESIGN DEVELOPMENT SUBMISSION

REVISIONS

DATE	02_11_2022
SCALE	AS NOTED
DRAWN BY	
CHECKED BY	DW
JOB NO	Project Number
SEAL	

DRAWING TITLE

ELEVATIONS

SHEET NO.

A.04

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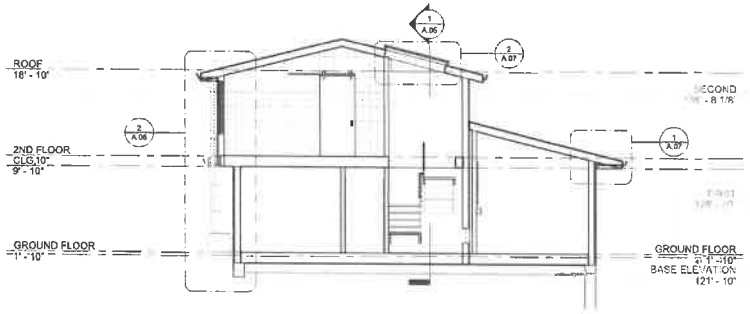
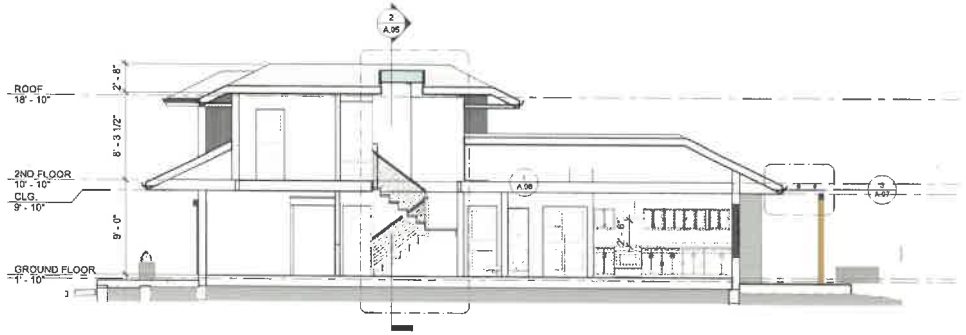


2 TRANSVERSE SECTION

3/16" = 1'-0"



1 LONGITUDINAL SECTION

3/16" = 1'-0"

MATERIALS LIST

TYPICAL ROOF CONSTRUCTION:

ASPHALT SHINGLED ROOFING
ROOF UNDERLAYMENT
SELF ADHERED MEMBRANE
5/8" ROOF SHEATHING
ROOF RAFTER / JOISTS
R49 CAVITY INSULATION

TYPICAL EXTERIOR FIBER CEMENT WALL PANEL

FIBER CEMENT PANEL SYSTEM
VAPOR BARRIER (SELF HEALING AND SELF ADHERED)
1/2" EXTERIOR GYPSUM SHEATHING
2" x 6" WOOD STUDS @ 16" O.C.
5 1/2" FIRE RATED BATT INSULATION
5/8" TYPE "X" GYPSUM BOARD

TYPICAL RAIL CONSTRUCTION:

2" x 3/4" METAL TOP RAIL
1 1/2" x 1 1/2" METAL HORIZONTAL PICKETS @ 4" O.C.
VERTICAL 2" x 3/4" METAL POSTS @ 4' O.C. MAX.
4" x 8" x 1/2" WELDED TO POSTS AND BOLTED TO WALL

TYPICAL FLOOR CONSTRUCTION:

SCHEDULED FLOOR
3/4" GYPCRETE
1/2" SOUND DEADENING FLOOR
3/4" OSB SUBFLOOR
2"x12" WOOD FLOOR JOISTS @ 24" O.C.
6" FIRE - RATED BATT INSULATION
5/8" GYPSUM BOARD ON 1/2" RESILIENT CHANNELS @ 24 O.C.

TYPICAL WINDOW OPENING CONSTRUCTION

FIBER CEMENT CLADDING
HIGH PERFORMANCE VINYL WINDOWS WITH 1/4" & 1/2" SHIM, BACKER ROD, SEALANT AND CAST WOOD STOOLS W/ THRU WALL FLASHING.

TYPICAL CMU WALL CONSTRUCTION

WATERPROOFING MEMBRANE W/DRAINAGE PROTECTION BOARD
8" CMU WALL
1/2" JOINT FILLER WITH 3/4" DEEP SEALANT AT THE PERIMETER.

TYPICAL SLAB ON GRADE CONSTRUCTION

SCHEDULED FLOOR WHEN APPLICABLE
5" OR 6" REINFORCED CONCRETE SLAB WITH 6x6 W1.4XW1.4
6 MIL POLYETHYLENE VAPOR BARRIER
4" WASHED GRAVEL FILL - DRAINAGE COURSE.

APPROVALS

ARCHITECT / DESIGN TEAM

dp+partners
400 7th STREET, NW SUITE 204
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CIVIL ENGINEERS
SERA ENGINEERED
4300 GEORGIA AVENUE NW
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4903 AUBURN AVENUE SUITE 204
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MECHANICAL ELECTRICAL PLUMBING
KK ENGINEERING
8660 COLUMBIA PKWY SUITE 314
COLUMBIA MD 21045

CLIENT NAME
CITY OF SEAT PLEASANT

PROJECT ADDRESS
420 69TH PLACE
SEAT PLEASANT MD 20743

PROJECT NAME
420 69TH PLACE - MCM

ISSUE	DATE
01_17_2022	30% - SCHEMATIC DESIGN SUBMISSION
02_11_2022	50% - DESIGN DEVELOPMENT SUBMISSION

REVISIONS

DATE	02_11_2022
SCALE	AS NOTED
DRAWN BY	
CHECKED BY	DW
JOB NO.	Project Number
SEAL	

DRAWING TITLE

SECTIONS

SHEET NO.

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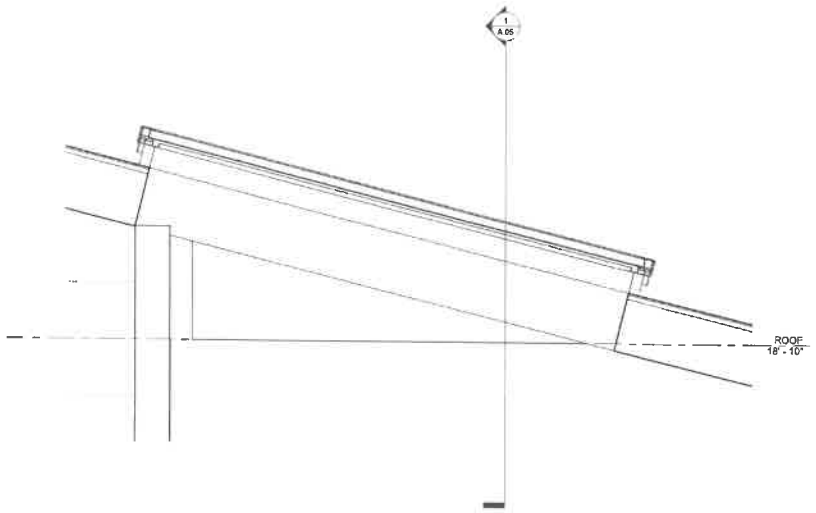
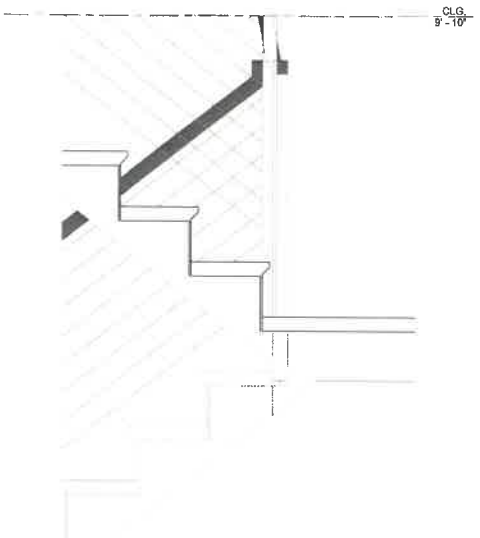


2 TRANSVERSE SECTION - CALLOUT 2
1 1/2" = 1'-0"



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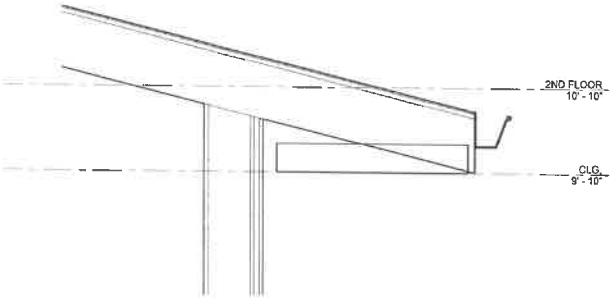
1 1/2" = 1'-0"



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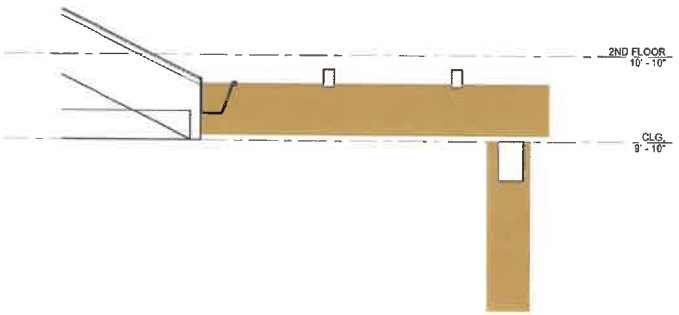
1 1/2" = 1'-0"



3 LONGITUDINAL SECTION - CALLOUT 1
1 1/2" = 1'-0"

APPROVALS

ARCHITECT / DESIGN TEAM

dp+partners
400 7th STREET, NW SUITE 204
WASHINGTON , DC 20004

CIVIL ENGINEERS
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4300 GEORGIA AVENUE NW
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STRUCTURAL ENGINEERS
3D STRUCTURAL ENGINEERING
4965 AUBURN AVENUE SUITE 204
BETHESDA MD 20814

MECHANICAL ELECTRICAL PLUMBING
KK ENGINEERING
6950 COLUMBIA PKWY SUITE 314
COLUMBIA MD 21045

CLIENT NAME
CITY OF SEAT PLEASANT

PROJECT ADDRESS
420 69TH PLACE
SEAT PLEASANT MD 20743

PROJECT NAME
420 69TH PLACE - MCM

ISSUE DATE	
01. 17. 2022	SPA - SCHEMATIC DESIGN SUBMISSION
05. 11. 2023	SPA - DESIGN DEVELOPMENT SUBMISSION

REVISIONS

DATE	02. 11. 2022
SCALE	AS NOTED
DRAWN BY	
CHECKED BY	DW
JOB NO.	Project Number
SEAL	

DRAWING TITLE

SECTION DETAILS

SHEET. NO.

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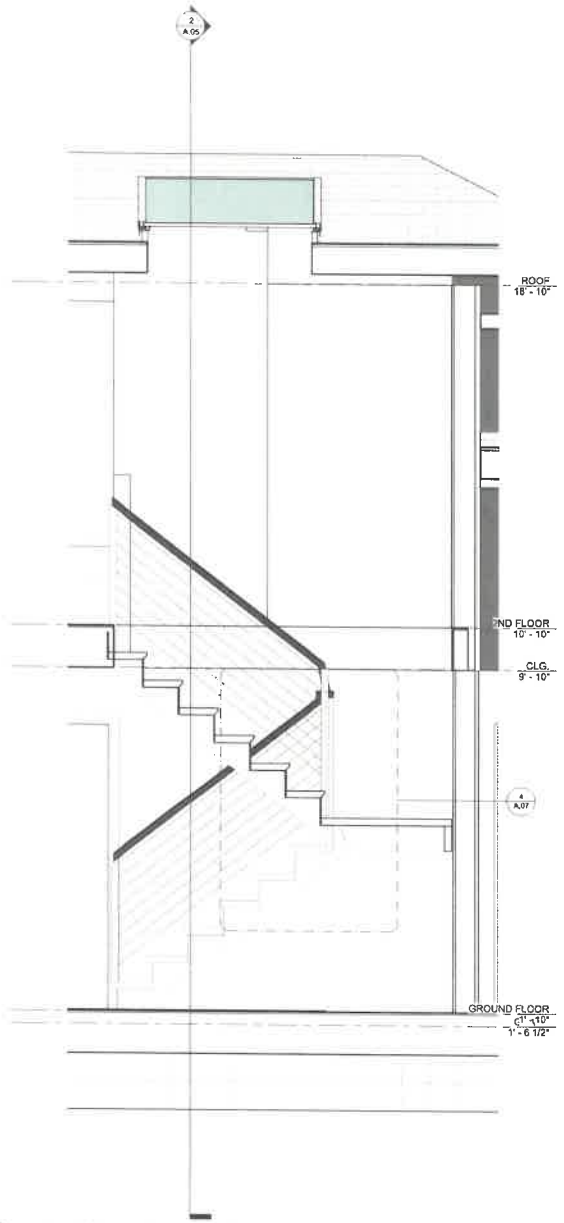
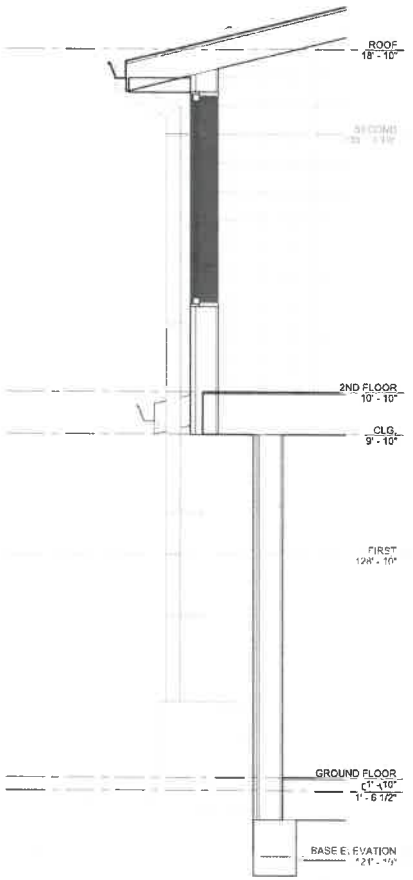


1 LONGITUDINAL SECTION - CALLOUT
3/4" = 1'-0"



2 TRANSVERSE SECTION - CALLOUT
3/4" = 1'-0"

APPROVALS

ARCHITECT / DESIGN TEAM

dp+partners

400 7th STREET, NW SUITE 204
WASHINGTON , DC 20004

CIVIL ENGINEERS
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4300 GEORGIA AVENUE NW
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STRUCTURAL ENGINEERS
3D STRUCTURAL ENGINEERING
4909 AUBURN AVENUE SUITE 204
BETHESDA MD 20814

MECHANICAL ELECTRICAL PLUMBING
KK ENGINEERING
8850 COLUMBIA PKWY SUITE 314
COLUMBIA MD 21045

CLIENT NAME
CITY OF SEAT PLEASANT

PROJECT ADDRESS
420 69TH PLACE
SEAT PLEASANT MD 20743

PROJECT NAME
420 69TH PLACE - MCM

ISSUE DATE	
01.17.2022	50% - SCHEMATIC DESIGN SUBMISSION
02.11.2022	50% - DESIGN DEVELOPMENT SUBMISSION

REVISIONS

DATE	02.11.2022
SCALE	AS NOTED
DRAWN BY	
CHECKED BY	DW
JOB NO.	Project Number
SEAL	

DRAWING TITLE

SECTION DETAILS

SHEET NO.

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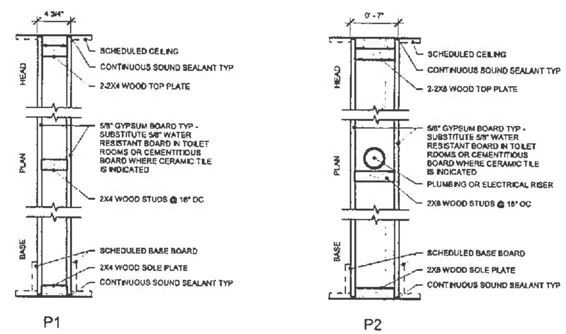
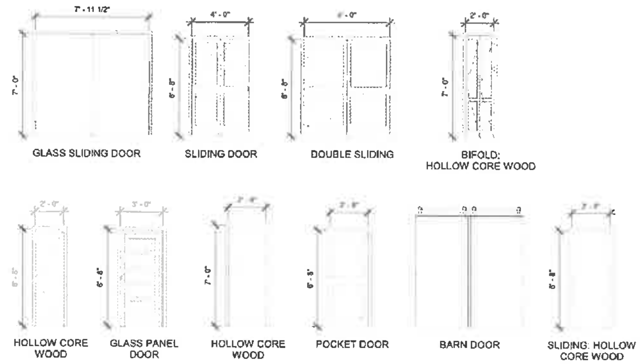


3 WALL ASSEMBLIES
1 1/2" = 1'-0"



4 DOOR ELEVATION
1/4" = 1'-0"

WINDOW NOTES:

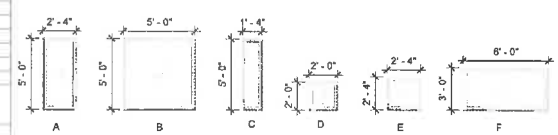
1. MINIMUM U - FACTOR FOR GLAZING IS 0.35.
2. VERIFY IN FIELD EXISTING OPENINGS.
3. SHIM & FINISH TO FILL EXISTING OPENING.

Window Schedule

Mark	W	H	Type	Matl	Glaz	Fire Rating Label	Head	Jamb	Sill	Horiz Mull	Vert Mull	Remarks	Count
A	2' - 4"	5' - 0"	28" x60"				H#	J#	S#	M#	M#		8
B	5' - 0"	5' - 0"	60" x60"				H#	J#	S#	M#	M#		2
C	1' - 4"	5' - 0"	16" x 60"				H#	J#	S#	M#	M#		6
D	2' - 0"	2' - 0"	24" x 24"				H#	J#	S#	M#	M#		2
E	2' - 4"	2' - 4"	28" x 28"				H#	J#	S#	M#	M#		1
F	6' - 0"	3' - 0"	72" x 36"				H#	J#	S#	M#	M#		1
G	4' - 1 1/2"	0' - 5 1/2"	GSM5276 - 49.25" x 72.5"										1

ABBREVIATIONS

2 WINDOW SCHEDULE
SCALE: 1/4" = 1'- 0"



2 WINDOW TYPES
SCALE: 1/4" = 1'- 0"

DOOR NOTES:

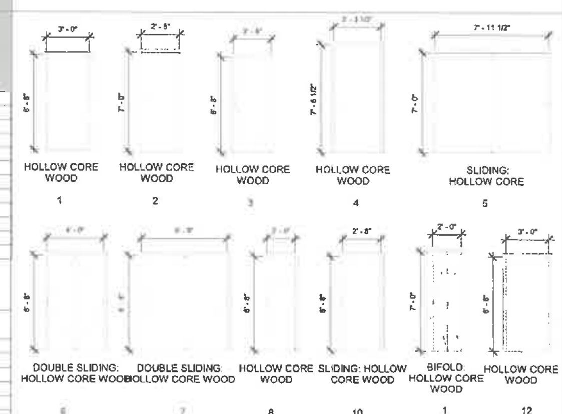
1. VERIFY IN FIELD EXISTING OPENINGS.
2. SHIM & FINISH TO FILL EXISITING OPENINGS.
3. LABEL DOORS ARE TO LABEL DOOR FRAMES, LABEL FRAMES TO BE FILLED SOLID WITH
   A. GROUT WHERE CONSTRUCTION IS MASONRY.
   B. MINERAL WOOL, WHERE THE CONSTRUCTION IS DRYWALL ASSEMBLY.
4. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION ON HARDWARE, CONSTRUCTION OF DOORS & INSTALLATION METHODS.
5. VARIOUS WALL SIZES AND TYPES WILL FIT JAMB SHOWN - SEE PARTITION SCHEDULE, DOOR SCHEDULE AND PLANS FOR COORDINATION.
6. UNDERCUT DOORS TO MATCH SCHEDULE SILL.

Door Schedule

DOOR			SIZE					LOUVER		FRAME	DETAIL				HARDWARE			
LOCALE	ROOM NAME	DOOR NO	W	H	THK	MAT	ELEV	W	H	ELEV	HEAD	JAMB	SILL	FIRE RATING LABEL	SET NO	KEYSIDE ROOM NO	REMARKS	COUNT
		1	3' - 0"	6' - 8"	0' - 2"						H#	J#						1
		2	2' - 8"	7' - 0"	0' - 2"						H#	J#						3
		3	2' - 8"	6' - 8"	0' - 2"						H#	J#						1
		4	3' - 3 1/2"	7' - 6 1/2"	0' - 1 1/2"						H#	J#						1
		5	7' - 11 1/2"	7' - 0"							H#	J#						1
		6	4' - 0"	6' - 8"	0' - 1 1/2"						H#	J#						2
		7	6' - 0"	6' - 8"	0' - 1 1/2"						H#	J#						1
		8	2' - 0"	6' - 8"	0' - 2"						H#	J#						2
		9	3' - 10"	6' - 8"	0' - 0"						H#	J#						1
		10	2' - 6"	6' - 8"	0' - 1 1/2"						H#	J#						2
		11	2' - 0"	7' - 0"	0' - 2"						H#	J#						2
		12	3' - 0"	6' - 8"	0' - 2"						H#	J#						1

ABBREVIATIONS

1 DOOR SCHEDULE
SCALE: 1/4" = 1'- 0"



1 DOOR TYPES
SCALE: 1/4" = 1'- 0"

APPROVALS

ARCHITECT / DESIGN TEAM
dp+partners
400 7th STREET, NW SUITE 204
WASHINGTON , DC 20004
CIVIL ENGINEERS
SERA ENGINEERED
4300 GEORGIA AVENUE NW
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STRUCTURAL ENGINEERS
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4903 AUBURN AVENUE SUITE 204
BETHESDA MD 20814
MECHANICAL ELECTRICAL PLUMBING
KK ENGINEERING
8850 COLUMBIA PKWY SUITE 314
COLUMBIA MD 21045

CLIENT NAME
CITY OF SEAT PLEASANT
PROJECT ADDRESS
420 69TH PLACE
SEAT PLEASANT MD 20743
PROJECT NAME
420 69TH PLACE - MCM

ISSUE DATE
01.17.2022 DPR - SCHEMATIC DESIGN SUBMISSION
02.11.2022 DPR - DESIGN DEVELOPMENT SUBMISSION

REVISIONS

DATE 02.11.2022
SCALE AS NOTED
DRAWN BY
CHECKED BY DW
JOB NO. Project Number
SEAL

DRAWING TITLE
SCHEDULES

SHEET NO.
A. 06

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EXHIBIT E – INTERIOR FIISHES & FIXTURES PACKAGE

420 69th Place
Seat Pleasant, MD 20002
April 11, 2022

INTERIORS FINISHES & FIXTURES PACKAGE

400 7th street nw suite 204
washington, dc 20004
www.dppartnersarchitects.com

dp+partners

KITCHEN
IMAGES

KITCHEN

FAUCET AND SINK
FINISH: MATTE BLACK
OPTION A

STUDIO S KITCHEN FAUCET
BUDGET PRICE: $400

QUINCE UNDERCOUNTER MOUNT DOUBLE BOWL SINK
33"W x 22"D
BUDGET PRICE: $580.00

dp+partners

KITCHEN

FAUCET AND SINK
FINISH: MATTE BLACK
OPTION B

SIMPLICE KITCHEN FAUCET
BUDGET PRICE: $390.00

DICKINSON UNDERMOUNT SINGLE BOWL SINK
33"W x 19"D
BUDGET PRICE: $750.00

UNIT KITCHEN

WHIRLPOOL KITCHEN APPLIANCE PACKAGE

FINISH: BLACK

TOP FREEZER REFRIGERATOR
BUDGET PRICE: $950.00

OVER THE RANGE HOOD
BUDGET PRICE: $160.00

GAS RANGE OVEN
BUDGET PRICE: $790.00

DISHWASHER
BUDGET PRICE: $640.00

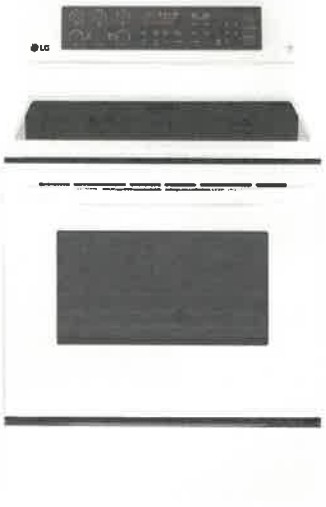
UNIT KITCHEN

LG AND WHIRLPOOL KITCHEN APPLIANCE PACKAGE

FINISH: SMOOTH WHITE

LG TOP FREEZER REFGRIGERATOR
BUDGET PRICE: $800.00

WHIRLPOOL OVER THE RANGE HOOD
BUDGET PRICE: $175.00



LG ELECTRIC RANGE OVEN
BUDGET PRICE: $950.00

WHIRLPOOL DISHWASHER
BUDGET PRICE: $699.00

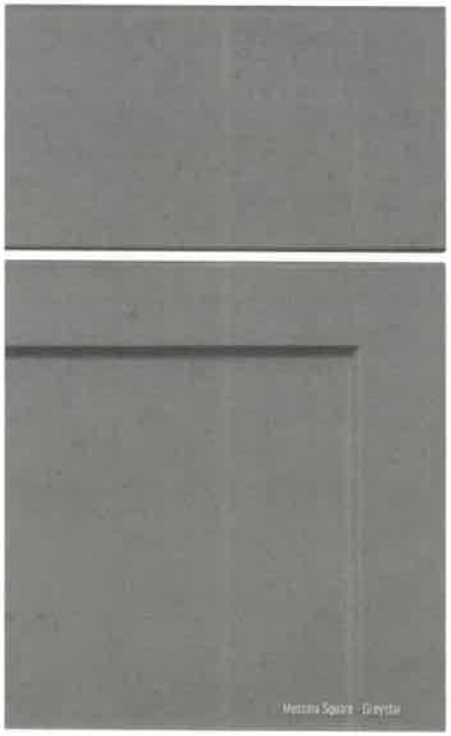
dp+partners

KITCHEN

OPTION A – MESSINA SQUARE

WT-2
FABRIC ART / COLOR: MEDIUM GRAY

SS-2
NATURAL GRANITE / COLOR: WHITE RIVER



KITCHEN CABINETRY
OPTION A
MESSINA SQUARE (GREYSTAR FINISH SHOWN)

AT KITCHEN ISLAND

Gloss White

GENERAL UPPER AND
LOWER CABINETS

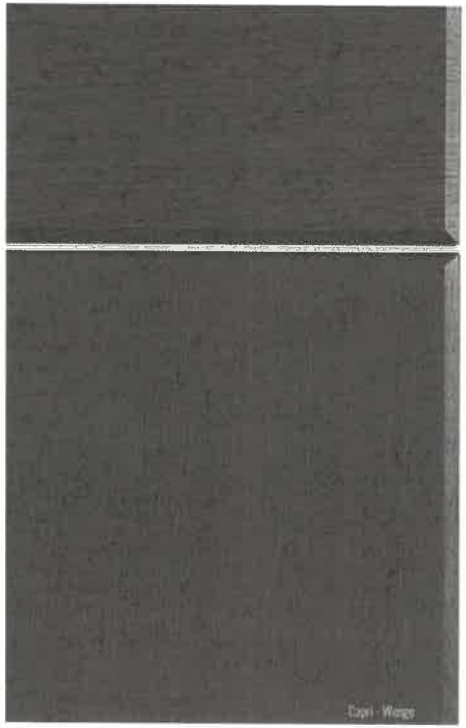
dp+partners

KITCHEN

OPTION B – CAPRI

WT-2
AMITY / COLOR: WHITE
BUDGET PRICE: $9.05/SF

SS-2
NATURAL GRANITE / COLOR: HYMALA WHITE



KITCHEN CABINETRY
OPTION B
CAPRI (WENGE FINISH SHOWN)

AT KITCHEN ISLAND

GENERAL UPPER AND
LOWER CABINETS

dp+partners

KITCHEN

OPTION C – MONZA

WT-2
CLIO MOSAICS / COLOR: BOREAS

SS-2
ONE QUARTZ / COLOR: KODIAK

KITCHEN CABINETRY
OPTION C
MONZA (GREY WENGE FINISH SHOWN)

AT KITCHEN ISLAND

GENERAL UPPER AND
LOWER CABINETS

dp+partners

FLOORING

OPTION A

FOYER, BEDROOM, KITCHEN, LIVING/DINING AREAS

3"H OBLIQUE PROFILE VINYL BASE
COLOR: WHITE

9" x 40" PLANK

ASHLAR INSTALLATION

INSTALLATION IMAGE

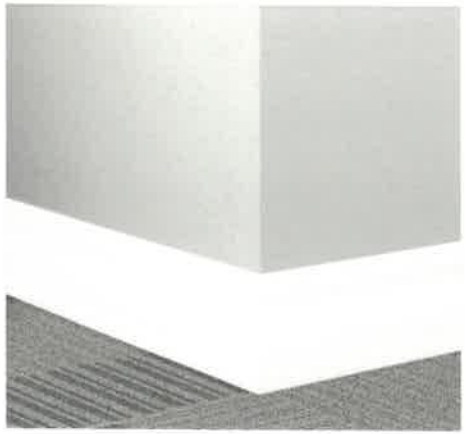
LUXURY VINYL TILE
TEXTURED WOODGRAINS | COLOR: IRONBARK
BUDGET PRICE: $3.20/SF

INSTALLATION: PATTERN ASHLAR

FLOORING

OPTION B

FOYER, BEDROOM, KITCHEN, LIVING/DINING AREAS



3-1/2"H OUTLINE PROFILE VINYL BASE
COLOR: SNOWBOUND

9" x 48" PLANK

HERRINGBONE INSTALLATION

INSTALLATION IMAGE

LUXURY VINYL TILE
MOOD | COLOR: OPEN

INSTALLATION: HERRINGBONE

FLOORING

OPTION C

FOYER, BEDROOM, KITCHEN, LIVING/DINING AREAS

2-1/2"H MANDALAY PROFILE VINYL BASE
COLOR: ICICLE

9" x 48" PLANK

RANDOM ASHLAR INSTALLATION

INSTALLATION IMAGE

LUXURY VINYL TILE
MOMENT | COLOR: ASSYMETRIC

INSTALLATION: RANDOM ASHLAR

BATHROOM

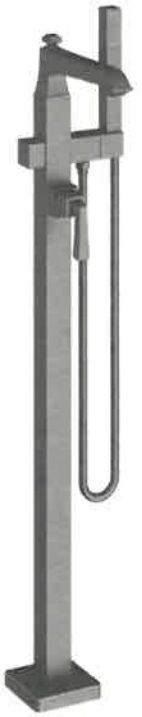
IMAGES

BATHROOM

FREESTANDING BATHTUB OPTIONS

OPTION A
STUDIO S
68" x 34" FREESTANDING

OPTION B
SEDONA LOFT
63" x 30" FREESTANDING



TOWN SQAURE S FLOOR
MOUNT BATH FAUCET

dp+partners

BATHROOM
SHOWER DOOR OPTIONS

OPTION A
FLUENCE PIVOT DOORS
FINISH: BRUSHED BRONZE

OPTION B
CURSVA PIVOT DOORS
FINISH: MATTE BLACK

OPTION C
RIVET PIVOT DOOR
FINISH: MATTE BLACK

dp+partners

BATHROOM

ESTATE FIXTURES
FINISH: LEGACY BRONZE
OPTION A

BATHROOM FLOORING
UNIFORM WOOD / COLORS: MEDIUM GRAY & DARK GRAY
8" x 48"

BATHROOM SHOWER FITTINGS
BUDGET PRICE: $275.00

BATHROOM SINK FAUCET
BUDGET PRICE: $325.00

BATHROOM VANITY AND SINK
24"W CULTURED MARBLE TOP

dp+partners

BATHROOM

HINT FIXTURES
FINISH: MATTE BLACK
OPTION B

BATHROOM FLOORING
VINTAGE HEX
COLOR: ARTIFACT GRAY

BATHROOM SHOWER FITTINGS
BUDGET PRICE: $300.00

BATHROOM SINK FAUCET
BUDGET PRICE: $375.00

BATHROOM VANITY AND SINK
24"W CULTURED MARBLE TOP

dp+partners

BATHROOM
FLOORING OPTIONS

OPTION C
WANDERWISE / COLOR: ROAM
12" x 24"
HERINGBONE INSTALLATION

BATHROOM

FLOORING OPTIONS
OPTION D

SCRIPTER / COLOR: HERO
8" x 8" HEAXAGONAL WALL TILE
24" x 24" FLOOR TILE

SCRIPTER / COLOR: HERO
12" x 24" FLOOR TILE

dp+partners

BATHROOM
TOILET OPTIONS

OPTION A
COLONY ELONGATED ONE PIECE
BUDGET PRICE: $300.00

OPTION B
CADET ELONGATED ONE PIECE
BUDGET PRICE: $375.00

BATHROOM

WALL TILE OPTIONS

OPTION A
ANNAPOLIS / COLOR: SAIL
6" x 16"

OPTION B
COLOR WHEEL COLLECTION LINEAR
COLORS: SUEDE GRAY, CHALKBOARD, AND ARCTIC WHITE
6" x 18"

dp+partners

BATHROOM
MIRROR OPTIONS

OPTION A
MOEN BANBURY MIRROR
FINISH: MEDITERRANEAN BRONZE
BUDGET PRICE: $85.00

OPTION B
MOEN ISO MIRROR
FINISH: MATTE BLACK
BUDGET PRICE: $150.00

dp+partners

BATHROOM

MEDICINE CABINET OPTIONS

OPTION A
RECESSED WITH STAINLESS STEEL FRAME

OPTION B
RECESSED WITH BEVELED MIRROR WITH POLISHED EDGES

dp+partners

BATHROOM

ARTIFACTS ACCESSORIES
FINISH: MODERNE BRASS
OPTION A

A

B

C

D

A – TOILET PAPER HOLDER
B – TOWEL RING
C – DOUBLE TOWEL BAR
D – DOUBLE ROBE HOOK

dp+partners

BATHROOM

SQUARE ACCESSORIES
FINISH: MODERNE BRASS
OPTION B

A

B

C

D

A – DOUB LE TOILET PAPER HOLDER
B – TOWEL RING
C – TOWEL ARM
D - ROBE HOOK

dp+partners

BATHROOM

ALTEO ACCESSORIES
FINISH: OIL RUBBED BRONZE
OPTION C

A

B

C

D

A – TOILET PAPER HOLDER
B – TOWEL RING
C – TOWEL BAR
D – ROBE HOOK

dp+partners

LIGHTING

OPTION A – CIRCA | MULBERRY

RENVILLE OUTDOOR WALL SCONCE
5.25"W x 7.375"H

PENDANT FIXTURE
20"DIAMETER x 6"H
PRICING: $530.00

SURFACE MOUNTED
20"DIAMETER x 7"H
PRICING: $500.00

JAXON BATHROOM WALL SCONCE
25"W x 4"H
PRICING: $360.00

LIGHTING

OPTION B – G.L. | GARRETT

URBANDALE OUTDOOR WALL SCONCE
10"W x 16.25"H

PENDANT FIXTURE
5.5"DIAMETER x 21.75"H
PRICING: $610.00

SURFACE MOUNTED
11.375"DIAMETER x 5.5"H
PRICING: $425.00

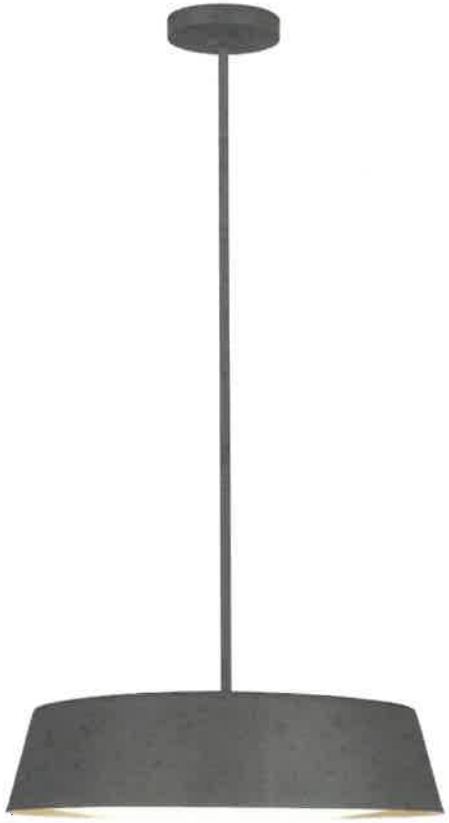
WALL SCONCE
21.125"W x 8.5"H
PRICING: $350.00

dp+partners

LIGHTING

OPTION C – G.L. | ASHER

ROCHA OUTDOOR WALL SCONCE
6.5"W x 16"H



PENDANT FIXTURE
19"DIAMETER x 5.375"H
PRICING: $400.00

SURFACE MOUNTED
14.5"DIAMETER x 6.425"H
PRICING: $290.00

ADELAIDE WALL SCONCE
24"W x 9.5"H
PRICING: $395.00

dp+partners

ACCENT CEILING PENDANTS

OPTIONS

OPTION A - FECCETTA
FINISH: ANTIQUE GILD
11"DIAMETER x 16.25"H

OPTION B - MORRISON
FINISH: SATIN BRASS
23"DIAMETER x 23.25"H

OPTION C - DAVI
FINISH: SATIN BRASS
24.875"DIAMETER x 20.375"H

OPTION D - ALTURAS
FINISH: SATIN BRASS
19"DIAMETER x 18.75"H

CEILING FAN

MONTECARLO

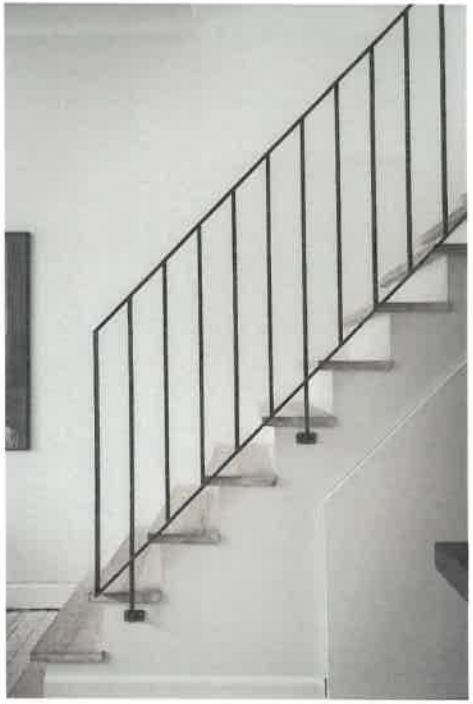
OPTION A - AVILA
FINISH: SATIN BRASS
54" BLADE LENGTH

OPTION B - ERA
FINISH: WHITE
52" BLADE LENGTH

OPTION C - AKOVA
FINISH: WHITE
56" BLADE LENGTH

dp+partners

HANDRAIL
OPTIONS

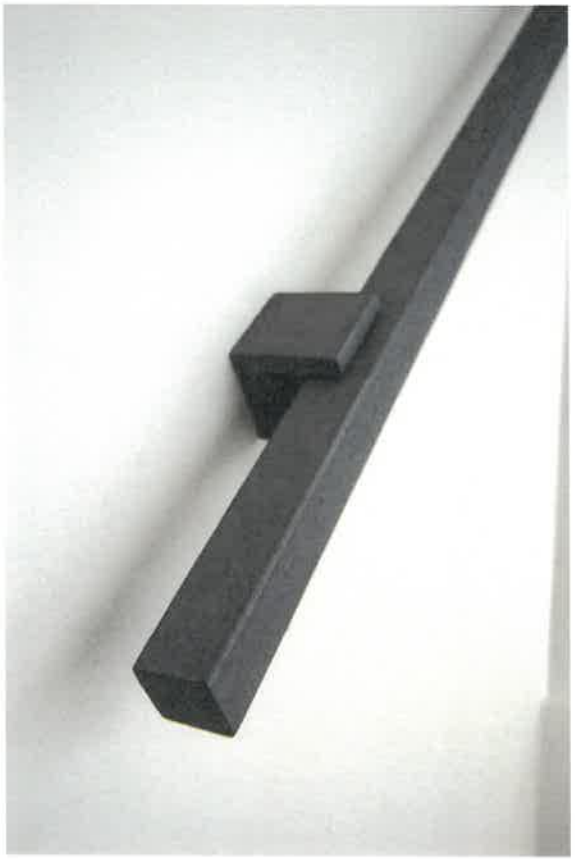


OPTION A
METAL RAILING
FINISH: BLACK
1"THICK RAILS x 36"H
3" SPACING BETWEEN VERTICAL RAILS
PRICING: $325.00 PER 48"L SECTION

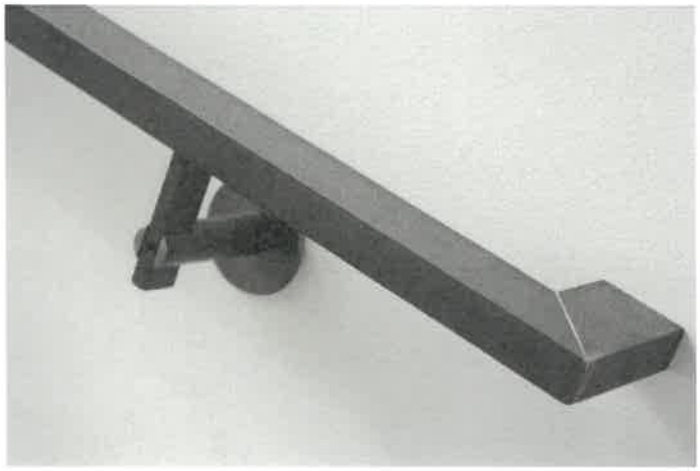
OPTION B
METAL RAILING
FINISH: BLACK
1-3/4"THICK RAILS (HORIZ) x 36"H
2"THICK END AND SUPPORT RAILS
3" SPACING BETWEEN HORIZ. RAILS
PRICING: $375.00 PER 48"L SECTION

dp+partners

HANDRAIL
OPTIONS



OPTION A



OPTION B

OPTION C

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Geotechnical Engineering Report

By: Precise Engineering LLC
*ENGINEERING * INSPECTON * SPECIALIZED TESTING * GEOTECHNICS*

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Report for:

420 69TH PLACE – MCM
420 69th Place, Seat Pleasant
Maryland 20743

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April 11, 2022

Stanley Mosley
Director of EJD/ Acting City Manager
City of Seat Pleasant
Maryland 20743

Re: Geotechnical Engineering Report for
420 69th Place, Seat Pleasant, Maryland 20743

Dear Mr. Mosley:

We have completed the Geotechnical Engineering services for the above referenced project. This study was performed in general accordance with the prevailing industry standard based on field investigation and testing performed on March 24, 2022. This report presents our understanding of the geotechnical aspects of the project, findings of the field investigation and lab testing, and provides our geotechnical recommendations concerning design and construction of foundations and floor slabs for the proposed construction project.

We appreciate the opportunity to be of service to you on this project. If you have any questions concerning this report or if we may be of further service, please contact us.

Sincerely.
Precise Engineering LLC (PELLC)

Tewodros Amde, PE
Principal Engineer

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Table of Contents

Attachments:

Figures

1. Site location map,
2. Soil Investigation Photos, Sheet No. 11

Appendix A

1. USCS Chart,
2. Dynamic Cone Penetrometer Test Report,
3. Boring Location Plan,
4. Boring Logs

Appendix B

Laboratory reports

Appendix C

Bearing Capacity Calculation.

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1. PROJECT DESCRIPTION

The project site is located at 420 69th Place, Seat Pleasant, Maryland 20743. Based on our review of publicly available aerial pictures, the site is relatively flat and cover with grass. Proposed grading plan was not available at the time of writing this report, however we have assumed that site grading will remain relatively the same with the maximum cut and fills on the order of 2 to 3 feet to establish final grades.

Based on the information provided to us, proposed construction will include two-storey building with driveways and parking lots. The area of proposed building will be approximately 60-foot x 40-foot.

2. SOIL INVESTIGATION

Subsurface conditions were investigated by drilling a total of two (2) hand auger borings in the proposed construction area. A representative of PELLC performed hand auger borings on March 24, 2022. and hand auger borings were advanced from the existing ground level to determine the soil profile. Hand auger borings were advanced to a depth of 6.0 feet below the ground surface in test pits. Hand Auger boring logs and a boring location plan are presented in ***Appendix A*** of this report.

Dynamic Cone Penetration (DCP) tests were performed in each hand auger boring. Soil samples were extracted using hand auger and visual soil classifications were performed using USCS classification. Test Boring Logs provide details related to the subsurface conditions encountered in the various borings. The stratification lines shown on the boring logs represent approximate transitions between material types. In situ, strata changes could occur gradually or at slightly different levels.

Groundwater was not encountered in any of the hand auger borings drilled at the site. Although ground water was not encountered in any of the borings but groundwater conditions between borings could vary from the conditions encountered at the boring locations

Selected soil samples were assigned for classification and moisture content tests per ASTM D 4318, ASTM D 2487 and AASHTO T 27.

3. SUBSURFACE CONDITIONS

3.1 Geology

The project site is lies within the Atlantic Coastal Plain Province of Maryland. The Atlantic Coastal Plain is the largest physiographic province in Maryland. It encompasses the whole Eastern Shore, all counties bordering the Chesapeake Bay, and Southern Maryland, including

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Prince George's, Calvert, Charles and St. Mary's counties. The Coastal Plain is bordered to the east by the Atlantic Ocean and to the west by the Piedmont Physiographic Province. It is made up of gravel, clay, silt, sand, and some iron ore.

According to the USGS "Geologic units of Maryland", the site is mapped in the Potomac Formation of the Cretaceous period. Potomac Formation consists of interbedded quartzose gravels, protoquartzitic to orthoquartzitic argillaceous sands, and white, dark gray, and multicolored silts and clays, thickness of 0 to 800 feet. The Potomac Group sediments are the oldest sedimentary deposits in the Maryland and are over consolidated and can support substantial loads.

3.2 Existing Subsurface Conditions During Field Test

In both hand auger boring HA-01 and HA-02, soil consisting of brown lean clay were encountered to the bottom of the borings with a dynamic cone penetration value ranging from 3 to 7. Values of blow counts were observed to increase as we progress deeper.

Although fill soils were not encountered in any of the hand auger borings drilled at the site but the upper soil conditions in the developed portions of the Washington DC area often include man-placed fill soils. Existing man-made fill can be quite variable in depth, composition and consistency, and the engineering properties of such material can be difficult to assess.

4. SOIL LABORATORY TESTS

Soil laboratory tests were performed on a selected soil samples collected from hand auger borings and are presented in appendix C of this report. Lab tests were performed per applicable ASTM standards. The gradation test curve and soil classification report are attached in Sheet # 5&6.

5. GEOTECHNICAL RECOMMENDATIONS

5.1 Foundation Recommendations

The building shall be founded on spread footings (isolated column footings or wall footings). The foundation may be designed for an allowable bearing capacity not to exceed 2,000 pounds per square foot. A safety factor of at least 2.2 is expected against shear failure.

Concrete for foundations should be placed as soon as possible after the excavation is completed to prevent degradation of the bearing soils. The building design shall be designed to tolerate total settlement of 1.0-inch and differential settlement of 0.5 inches. Actual settlement should be less than that due to no significant amount of fine-grained material in the foundation soil.

All foundation subgrades should be observed by a geotechnical engineer or the engineer's qualified representative prior to placement of concrete to evaluate if subgrade soils are capable

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for a 2,000 pounds per square foot bearing capacity. If unsuitable soils are encountered at the design subgrade, foundations should be extended through the plastic soil to bear on the underlying non-plastic soils, or these soils should be removed and replaced as recommended by the by a geotechnical engineer or the engineer's qualified representative.

The footings should extend below the frost depth of at least 2.5 feet below the finished exterior grades to prevent heave due to frost action.

All wall footings should be at least 30 inches in width and column footings should have a minimum dimension of 36 inches. The minimum thickness of the footings should be 8 inches for non-reinforced footings and 10 inches for reinforced concrete footings. The concrete for footings should be placed as soon as possible after the excavation is completed to prevent degradation of the bearing soils.

The above minimum footing size recommendation is only based on geotechnical information. Its responsibility of the structural engineer to check and modify adequacy of the proposed footing width and thickness for other load combinations or internal forces. Its PELLC's recommendation that client hires third party inspection firm to verify contractor follows the above geotechnical recommendations. PELLC is certified third party inspection firm within DMV and willing to provide construction inspection services following county's third-party special inspection policy regulation.

5.2 Slab on Grade

The proposed floor slabs should be supported on suitable natural soils or compacted fill. Floor slab subgrades should be observed and approved by the Geotechnical Engineer or his representative prior to placing the concrete. The minimum thickness of the slab should be 4 inches.

Soft or yielding soils may be encountered in some areas. Those soils should be removed and replaced with compacted Structural Fill or Lean Concrete.

Before the placement of concrete for floor slab, a vapor barrier may be placed on top of the granular drainage layer to provide additional protection against moisture penetration through the floor slab. Depending on proposed flooring material types, the structural engineer and/or the architect may choose to eliminate the vapor barrier.

Soil-supported slabs should be isolated from the foundations and foundation-supported elements of the structure so that differential movement between the foundations and slab will not induce excessive shear and bending stresses in the floor slab. Where the structural configuration prevents the use of a free-floating slab such as in a drop-down footing/monolithic slab configuration, the slab should be designed with suitable reinforcement and load transfer devices to preclude overstressing of the slab.

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5.3 Below Grade Walls

The building below grade walls should be designed to resist lateral earth pressures developed from the surrounding soil, backfill, and surcharge loads. We recommend an equivalent fluid pressure of 64H (psf) for the basement wall design, provided that granular backfill is placed and that no groundwater exists above the footing subgrade.

Surcharge loads imposed within a 45-degree slope from the base of the restrained wall should be considered in the below grade wall design. These surcharge loads should be based on an at-rest pressure coefficient, Ko, of 0.5. Care should be used to avoid the operation of heavy equipment to compact the wall backfill since it may overload and damage the wall.

The backfill material against the basement wall shall consist of sandy silt (ML), silty sand (SM) or more granular materials. The following soil parameters may also be used for the design of the basement wall:

Soil Parameter	**Values**
Internal friction angle:	28 degrees
Unit weight (moist)	120 pcf
Cohesion:	50 psf
Coefficient of active pressure, Ka	0.36
Coefficient of passive pressure, Kp	2.76
Coefficient of at rest pressure, Ko	0.53
Friction factor between soil and concrete	0.35

5.4 Earthwork

Fill materials should not be placed on frozen or frost-heaved soils, and/or soils that have been recently subjected to precipitation. All frozen or frost-heaved soils should be removed prior to continuation of fill operations. Borrow fill materials should not contain frozen materials at the time of placement. Fill material should be placed in lifts not exceeding 8 inches loose thickness, with fill materials compacted by hand operated tampers or light compaction equipment placed in maximum 4-inch-thick loose lifts. Fill should be compacted at +/- 2% of the optimum moisture content to at least 95 percent of the maximum dry density per ASTM D-698. Compaction equipment that is compatible with the soil type used for fill should be selected. After completion of compacted fill operations, the finished subgrade should be

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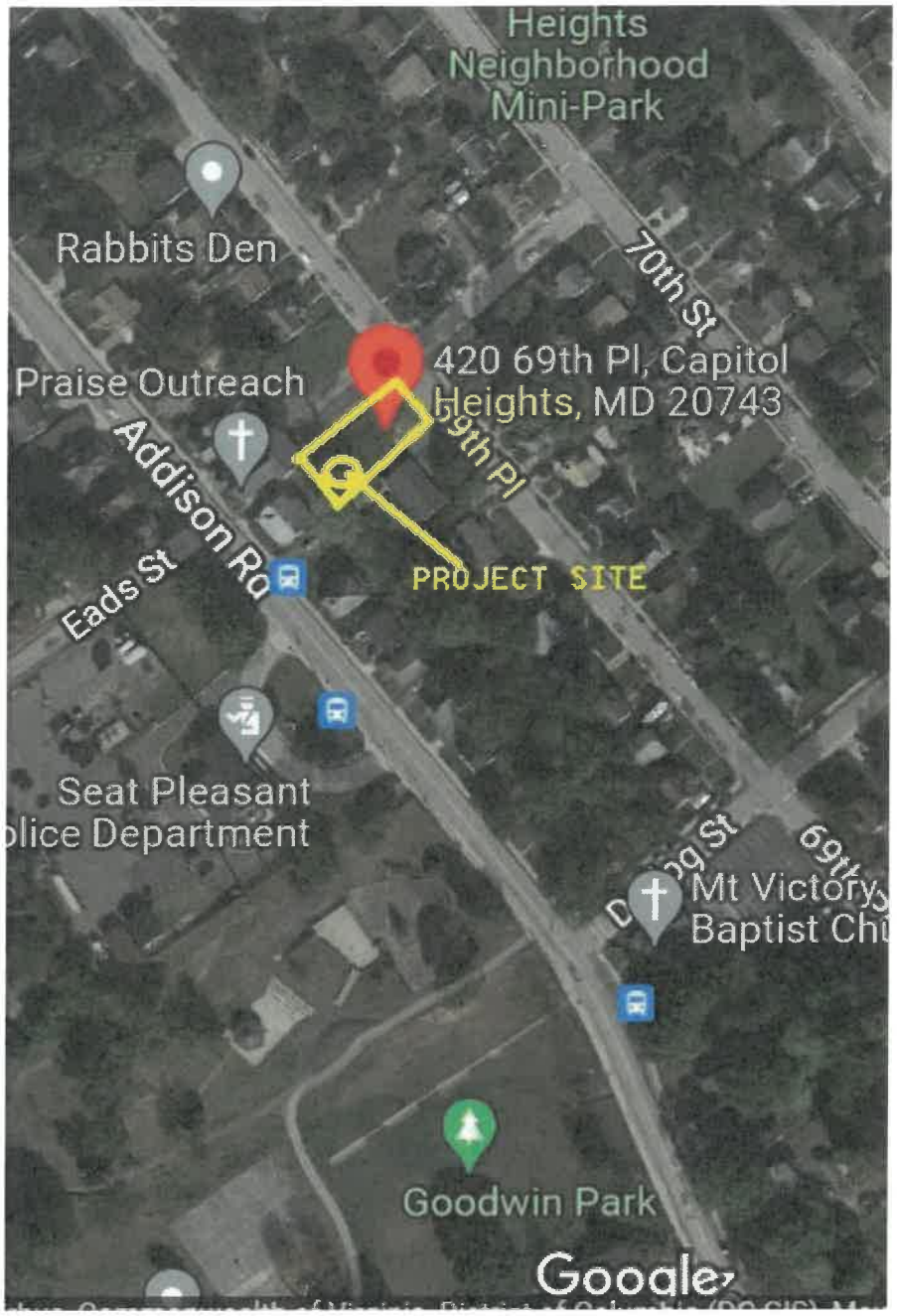
protected from exposure to inclement weather conditions. Exposure to precipitation and freeze/thaw cycles will cause the finished subgrade to soften and become excessively disturbed

Materials used for compacted fill should consist of soils classifying SC, SM, SP, SW, GC, GM, GP, or GW per ASTM D-2487, with a maximum dry density greater than 105 pcf. It is expected that portions of soils excavated at the site will be suitable for re-use as fill based on classification. However, drying of excavated soils by spreading and aerating may be necessary to obtain proper compaction. We suggest that laboratory classification, moisture density relationship, and moisture content tests should be performed on potential fill materials before construction to verify their suitability.

6. Limitations

We have prepared this report for the use of the design professional for design purposes in accordance with generally accepted geotechnical engineering principles and practices. PELLC is not responsible for the conclusions made by others based on the data contained in this report. Any changes in the plans for the proposed construction made after the date of this report should be brought to the attention of PELLC as to verify that the recommendations provided herein are applicable.

PROPOSED PROJECT SITE



Reference: Google Map dated 04/10/2022.

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TITLE: SITE LOCATION MAP

PROJECT: 420 69th Pl, Seat Pleasant, Maryland 20743

Date:	Prep. By:	Checked By:	Project No:	Figure No.:
04-10-2022	TA		22019	

PRECISE ENGINEERING & INSPECTION

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TITLE: Field Test Picture

PROJECT: 420 69th Pl, Seat Pleasant Maryland 20743

Date:	Prep. By:	Checked By:	Project No:	Figure No.:
04-10-2022	TA		22019	

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Sheet#1

SOIL CLASSIFICATION CHART
(ASTM D-2487)

Criteria for Assigning Group Symbols and Group Names Using Laboratory Tests[A]				Soil Classification	
				Group Symbol	Group Name[B]
Coarse-Grained Soils More than 50% retained on No. 200 sieve	Gravels More than 50% of coarse fraction retained on No. 4 sieve	Clean Gravels Less than 5% fines[C]	Cu ≥ 4 and 1 ≤ Cc ≤ 3[E]	GW	well-graded GRAVEL[F]
			Cu < 4 and/or 1 > Cc > 3[E]	GP	poorly graded GRAVEL[F]
		Gravels with Fines More than 12 % fines[C]	Fines classify as ML or MH	GM	silty GRAVEL[F,G,H]
			Fines classify as CL or CH	GC	clayey GRAVEL[F,G,H]
	Sands 50 % or more of coarse fraction passes No. 4 sieve	Clean Sands Less than 5 % fines[D]	Cu ≥ 6 and 1 ≤ Cc ≤ 3[E]	SW	well-graded SAND[I]
			Cu < 6 and/or 1 > Cc > 3[E]	SP	poorly graded SAND[I]
		Sands with Fines More than 12 % fines[D]	Fines classify as ML or MH	SM	silty SAND[G,H,I]
			Fines classify as CL or CH	SC	clayey SAND[G,H,I]
Fine-Grained Soils 50 % or more passes the No. 200 sieve	Silts and Clays Liquid limit less than 50	inorganic	PI > 7 and plots on or above "A" line[J]	CL	lean CLAY[K,L,M]
			PI < 4 or plots below "A" line[J]	ML	SILT[K,L,M]
		organic	Liquid limit - oven dried / Liquid limit - not dried < 0.75	OL	organic CLAY[K,L,M,N] organic SILT[K,L,M,O]
	Silts and Clays Liquid limit 50 or more	inorganic	PI plots on or above "A" line	CH	fat CLAY[K,L,M]
			PI plots below "A" line	MH	elastic SILT[K,L,M]
		organic	Liquid limit - oven dried / Liquid limit - not dried < 0.75	OH	organic CLAY[K,L,M,P] organic SILT[K,L,M,Q]
Highly Organic Soils	Primarily organic matter, dark in color, and organic odor			PT	PEAT

[A] Based on the material passing the 3-in. (75mm) sieve.

[B] If field sample contained cobbles or boulders, or both, add "with cobbles or boulders, or both" to group name.

[C] Gravels with 5 to 12 % fines require dual symbols:
GW-GM well-graded GRAVEL with silt
GW-GC well-graded GRAVEL with clay
GP-GM poorly graded GRAVEL with silt
GP-GC poorly graded GRAVEL with clay

[D] Sand with 5 to 12 % fines require dual symbols:
SW-SM well-graded SAND with silt
SW-SC well-graded SAND with clay
SP-SM poorly graded SAND with silt
SP-SC poorly graded SAND with clay

[E] $Cu = D_{60} / D_{10}$ $Cc = (D_{30})^2 / (D_{10} \times D_{60})$

[F] If soil contains ≥ 15 % sand, add "with sand" to group name.

[G] If fines classify as CL-ML, use dual symbol GC-GM, or SC-SM.

[H] If fines are organic, add "with organic fines" to group name.

[I] If soil contains ≥ 15 % gravel, add "with gravel" to group name.

[J] If Atterberg limits plot in hatched area, soil is a CL-ML, silty CLAY.

[K] If soil contains 15 to 29 % plus No. 200, add "with sand" or "with gravel," whichever is predominant.

[L] If soil contains ≥ 30 % plus No. 200, predominantly sand, add "sandy" to group name.

[M] If soil contains ≥ 30 % plus No. 200, predominantly gravel, add "gravelly" to group name.

[N] PI ≥ 4 and plots on or above "A" line.

[O] PI < 4 or plots below "A" line.

[P] PI plots on or above "A" line.

[Q] PI plots below "A" line.

"Some" indicates presence of negligible amount of material.

RELATIVE DENSITY AND CONSISTENCY TABLE

The Standard Penetration Resistance values (N-values) and DCP values are used to describe the relative density of coarse-grained soils and the consistency of fine-grained soils as follows:

Cohesionless Soil			Cohesive Soil		
N-value	DCP	Term	N-value	DCP	Term
0 - 3	0 - 2	Very Loose	0 - 2	0 - 2	Very Soft
4 - 5	3 - 5	Loose	3 - 5	3 - 5	Soft
6 - 20	6 - 20	Firm	6 - 9	5 - 9	Medium Stiff
21 - 30	21+	Compact	10 - 15	10 - 20	Stiff
31+		Very Compact	16 – 30	21+	Very Stiff
			31+		Hard

March 11, 2022

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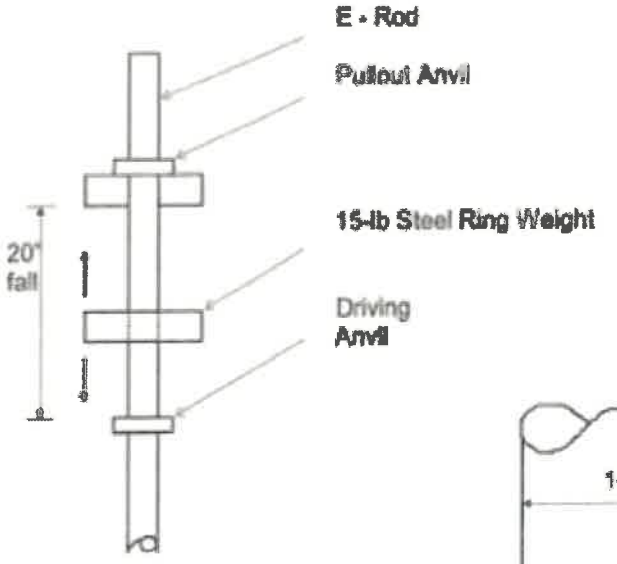
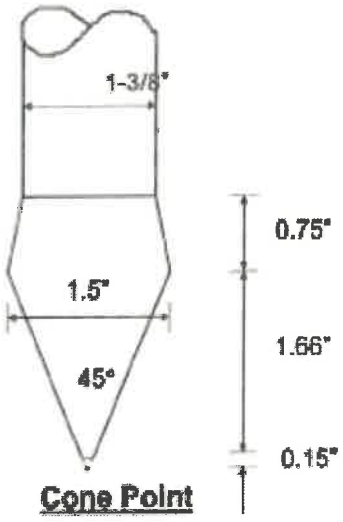
Sheet#2

DYNAMIC CONE PENETROMETER TEST

1. The cone point is seated 2 inches into the disturbed bottom of hole and is further driven 1-3/4 inches using a 15 lb hammer falling 20 inches. Hammer blows required for driving 1-3/4 inches are recorded as DCP value.
2. This test is generally performed in accordance with ASTM STP 399.
3. Schematic view of the penetrometer is shown below:



Sliding Drive Hammer



Cone Point

March 11, 2022

Table -3 - Tabulated Correlaltion of blows per 2" penetration verses CBR and PSF

Hammer 17.6 lbs Blows/2"	Hammer 10.1 lbs Blows/2"	CBR			PSF		
		Soil type			Soil type		
		Other	CL	CH	Other	CL	CH
	1	2	0	3	760	260	1240
1	2	4	1	7	1270	660	1960
	3	6	3	10	1720	1130	2560
2	4	8	5	14	2130	1660	3100
	5	10	8	17	2520	2230	3600
3	6	12	12	21	2880	2840	4060
	7	15	15	24	3240	3240	4500
4	8	17	17	27	3570	3570	4920
	9	19	19	31	3900	3900	5320
5	10	22	22	34	4220	4220	5700
	11	24	24	38	4530	4530	6070
6	12	27	27	41	4830	4830	6430
	13	29	29	45	5130	5130	6790
7	14	32	32	48	5420	5420	7130
	15	34	34	51	5700	5700	7460
8	16	37	37	55	5980	5980	7790
	17	39	39	58	6260	6260	8110
9	18	42	42	62	6530	6530	8420
	19	45	45	65	6800	6800	8730
10	20	47	47	69	7060	7060	9030
	21	50	50	72	7320	7320	9330
11	22	53	53	75	7580	7580	9620
	23	55	55	79	7840	7840	9910
12	24	58	58	82	8090	8090	10200
	25	61	61	86	8340	8340	10480
13	26	63	63	89	8580	8580	10750
	27	66	66	92	8830	8830	11020
14	28	69	69	96	9070	9070	11290
	29	72	72	99	9310	9310	11560
15	30	74	74	100	9550	9550	11820
	31	77	77		9780	9780	
16	32	80	80		10020	10020	
	33	83	83		10250	10250	
17	34	86	86		10480	10480	
	35	89	89		10710	10710	
18	36	91	91		10930	10930	
	37	94	94		11160	11160	
19	38	97	97		11380	11380	
	39	100	100		11600	11600	
20	40	100	100		11820	11820	

Precise Engineering LLC
9707 24th Avenue, Adelphi, MD 20783
Phone: (240) 447-9400,
Email-tamde@precizeengineering.com
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Footing Inspection-Dynamic Cone Penetrometer

Client: **420 69TH PLACE – MCM**
Project Address: **420 69th Pl, Seatplesant MD**
Project No: 22019
Inspector: Tewodros Amde, PE

Date: 03-24-2022
Time in: 9:00 am
Time out: 12:00 pm
Travel Time: 2-hr
Weather: Claudy

Appendix-A

Foundation I.D. Underpinning D		Test Pit Size/ Auger size	Test Depth from Ground level (Inchs)	Bearing Soil Type (Visual Classification-USCS)	Recommended Design Bearing Pressure (PSF)	Digital Static Cone Pentrometer* Reading (psf)	Status
Type	Test Location.	L x W (Inch)					
	Test-pit 1 @2FT Depth	HA	24	Clay, Soft to Medium Stiff	2000	3,4,4	
	Test-Pit 1 @ 4FT Depth	HA	48	Clay, Soft to Medium Stiff	2000	4,5,5	
	Test-pit 1 @6FT Depth	HA	60	Clay, Soft to Medium Stiff	2000	4,5,7	
	Test-Pit 2 @ 2FT Depth	HA	24	Clay, Soft to Medium Stiff	2000	3,4,4	
	Test-Pit 2 @ 4FT Depth	HA	48	Clay, Soft to Medium Stiff	2000	4,5,6	
	Test-Pit 2 @ 6FT Depth	HA	60	Clay, Soft to Medium Stiff	2000	5,6,7	

Legend:
A= Column Footing C=Wall Footings with Column Pads
B= Wall Footing D=Mat
[1] Record width for wall footings and length by width for column footings.
[2] Depth of excavation as measured from presesnt ground surface.

Status:
1= Tests indicate Adequate Soil Strength
2= Tests indicate Insufficient Soil Strength
3= Footing Accepted after Subgrade Ammendment

* Test performed and recorded for the specific DCP equipment used with client instructions.

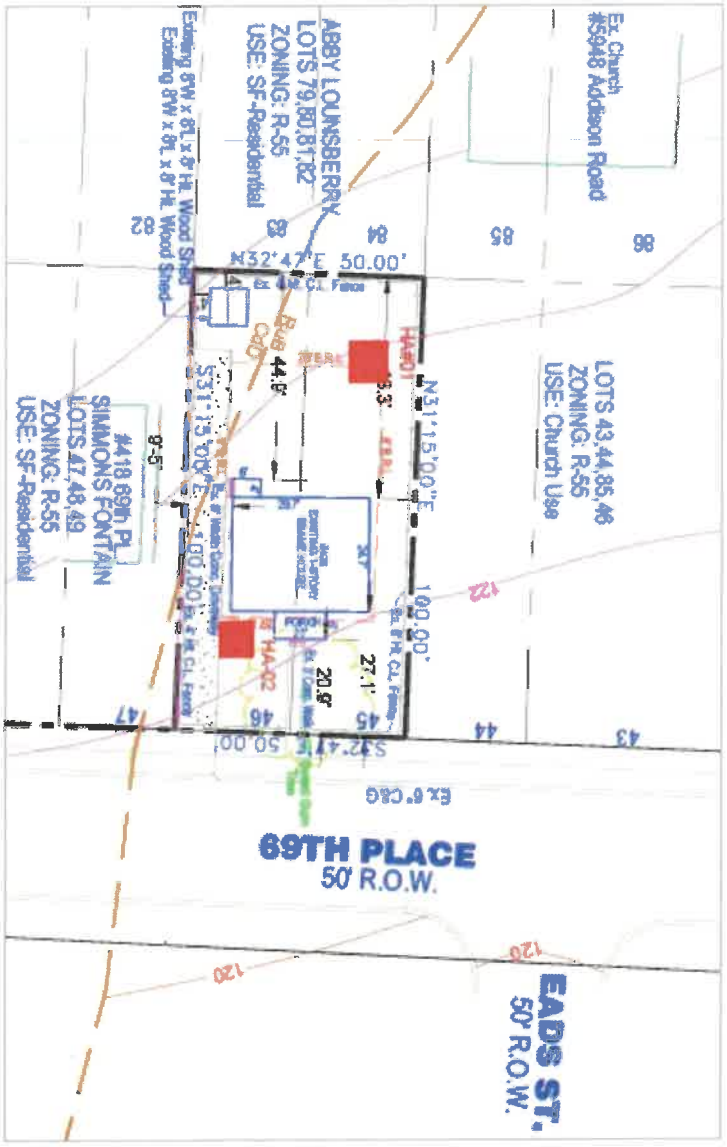
Remarks:

Undercuts/ Repairs (due to soft soil conditions):

* Any soil(s) which become loose or soften (s) as a result of additional construction or exposure to the elements (rain, freezing temperatures, etc) must be removed from the excavation prior to replacement of concrete.

*Soil penetrometer readings are given on an indexed value of the unconfined compressive strength of the soil. Based on the soil being consistent within the foundations zone of influence below the prepared surface, the unconfined compressive strength are proportional to the bearing capacity. Due to the nature of this instrument, the report should only be used to confirm or deny anticipated soil conditions. it should not be constructed as a soil survey of this site. The above data are only valid for the locations and elevations shown, and do not include bearing capacity or strength below the lowest elevation tested.

BORING LOCATION PLAN



Precise Engineering LLC

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Ph#: (240)4479400; D: (301) 439 0630
www.precizeengineering.com

TITLE: BORING LOCATION PLAN

PROJECT: 420 69th Pl, Seat Pleasant, Maryland 20743

Date:	Prep. By:	Checked By:	Project No:	Figure No.:
04-10-2022	TA		22019	

PRECISE ENGINEERING LLC
9707 24th Avenue
Adelphi, MD 20783
Telephone: 301 439 0630
Fax: 310 439 0693

BORING NUMBER HA#01

CLIENT NEHEMIAH MANAGEMENT
PROJECT NUMBER 22031
DATE STARTED 03/24/22 **COMPLETED** 03/24/22
DRILLING CONTRACTOR Precise Engineering
DRILLING METHOD Hand-auger
LOGGED BY Getahun D. **CHECKED BY** TA
NOTES

PROJECT NAME 420 69TH PLACE - MCM
PROJECT LOCATION 420 69th Place, Capitol Heights, Maryland
GROUND ELEVATION **HOLE SIZE**
GROUND WATER LEVELS:
AT TIME OF DRILLING No ground water observed
AT END OF DRILLING No ground water observed
AFTER DRILLING 24 hours water level reading was not recorded

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	Dynamic Cone Penetration Test Value	▲ SPT N VALUE ▲ 20 40 60 80 / PL MC LL / 20 40 60 80 / ☐ FINES CONTENT (%) ☐ 20 40 60 80
0.0		3" Topsoil			
		(CL) LEAN CLAY WITH SAND, trace gravel, moist			
		(CL) Brown, LEAN CLAY, trace sand, moist			
2.5			GB 1	3-4-4 (8)	
			GB 2	4-5-5 (10)	
5.0			GB 3	5-7-7 (14)	
		Bottom of borehole at 6.5 feet.			
7.5					
10.0					

PRECISE ENGINEERING LLC
9707 24th Avenue
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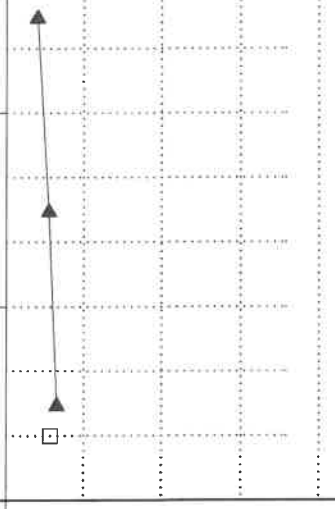
BORING NUMBER HA#02

CLIENT NEHEMIAH MANAGEMENT
PROJECT NUMBER 22031
DATE STARTED 03/24/22 **COMPLETED** 03/24/22
DRILLING CONTRACTOR Precise Engineering
DRILLING METHOD Hand-auger
LOGGED BY Getahun D. **CHECKED BY** TA
NOTES

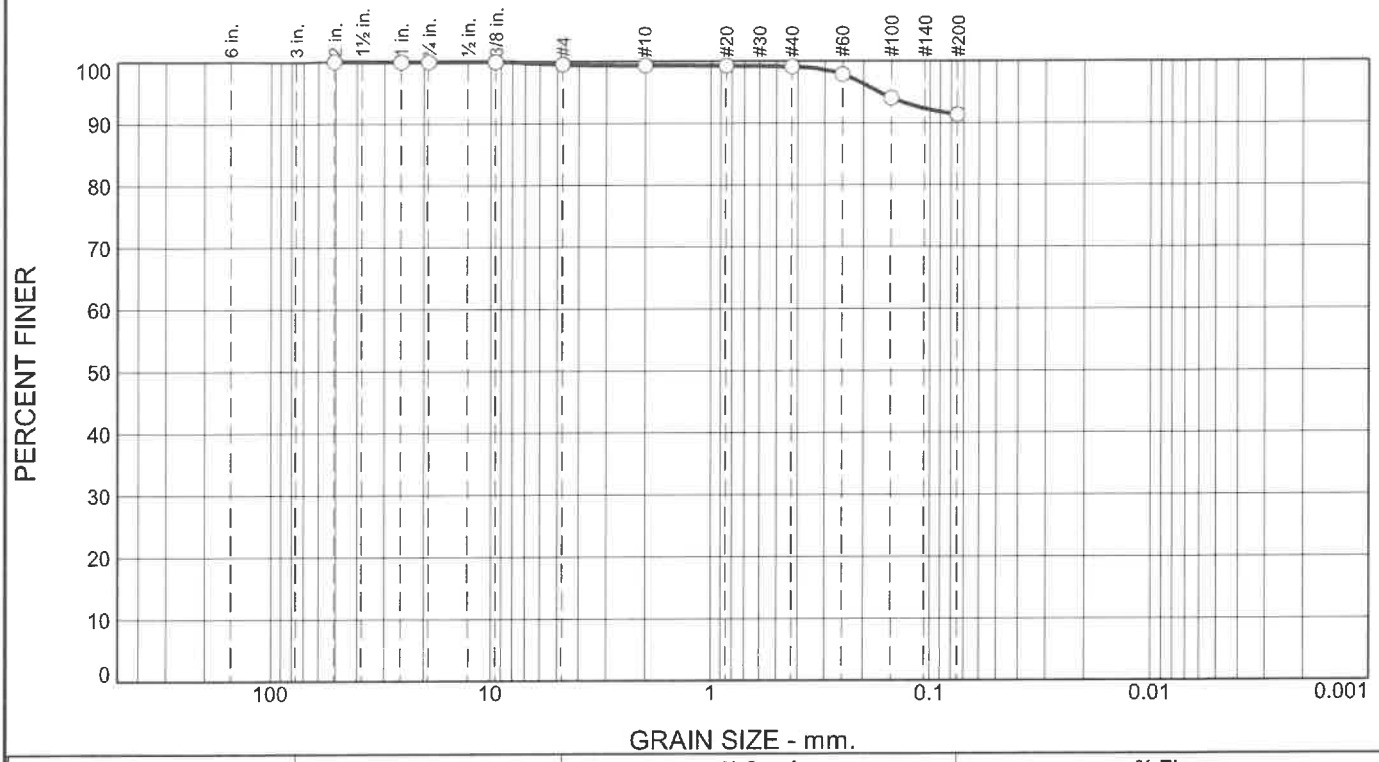
PROJECT NAME 420 69TH PLACE - MCM
PROJECT LOCATION 420 69th Place, Capitol Heights, Maryland
GROUND ELEVATION **HOLE SIZE**
GROUND WATER LEVELS:
AT TIME OF DRILLING No ground water observed
AT END OF DRILLING No ground water observed
AFTER DRILLING 24 hours water level reading was not recorded

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	Dynamic Cone Penetration Test Value
0.0		3" Topsoil		
		(CL) LEAN CLAY WITH SAND, trace gravel, moist		
2.5		(CL) Brown, LEAN CLAY, trace sand, moist	GB 1	3-4-4 (8)
			GB 2	4-5-6 (11)
5.0			GB 3	5-6-7 (13)
7.5		Bottom of borehole at 6.5 feet.		
10.0				

▲ SPT N VALUE ▲
20 40 60 80
PL MC LL
20 40 60 80
☐ FINES CONTENT (%) ☐
20 40 60 80



Particle Size Distribution Report



% +3"	% Gravel		% Sand			% Fines	
	Coarse	Fine	Coarse	Medium	Fine	Silt	Clay
0.0	0.0	0.5	0.2	0.2	7.8	91.3	

TEST RESULTS (AASHTO T88)

Opening Size	Percent Finer	Spec.* (Percent)	Pass? (X=Fail)
2.0"	100.0		
1.0"	100.0		
3/4"	100.0		
3/8"	100.0		
#4	99.5		
#10	99.3		
#20	99.3		
#40	99.1		
#60	97.9		
#100	94.0		
#200	91.3		

* (no specification provided)

Material Description

Brown lean clay

Atterberg Limits (ASTM D 4318)

PL= 23 LL= 40 PI= 17

Classification

USCS (D 2487)= CL AASHTO (M 145)= A-6(17)

Coefficients

D_{90}= D_{85}= D_{60}=
D_{50}= D_{30}= D_{15}=
D_{10}= C_u= C_c=

Remarks

Date Received: 03/31/2022 **Date Tested:** 04/07/2022

Tested By: Mohammad Ali R

Checked By: Tariq Hamid

Title: Reviewer

Source of Sample: TP-1 **Depth:** 6.0' **Date Sampled:**

Sample Number: ---

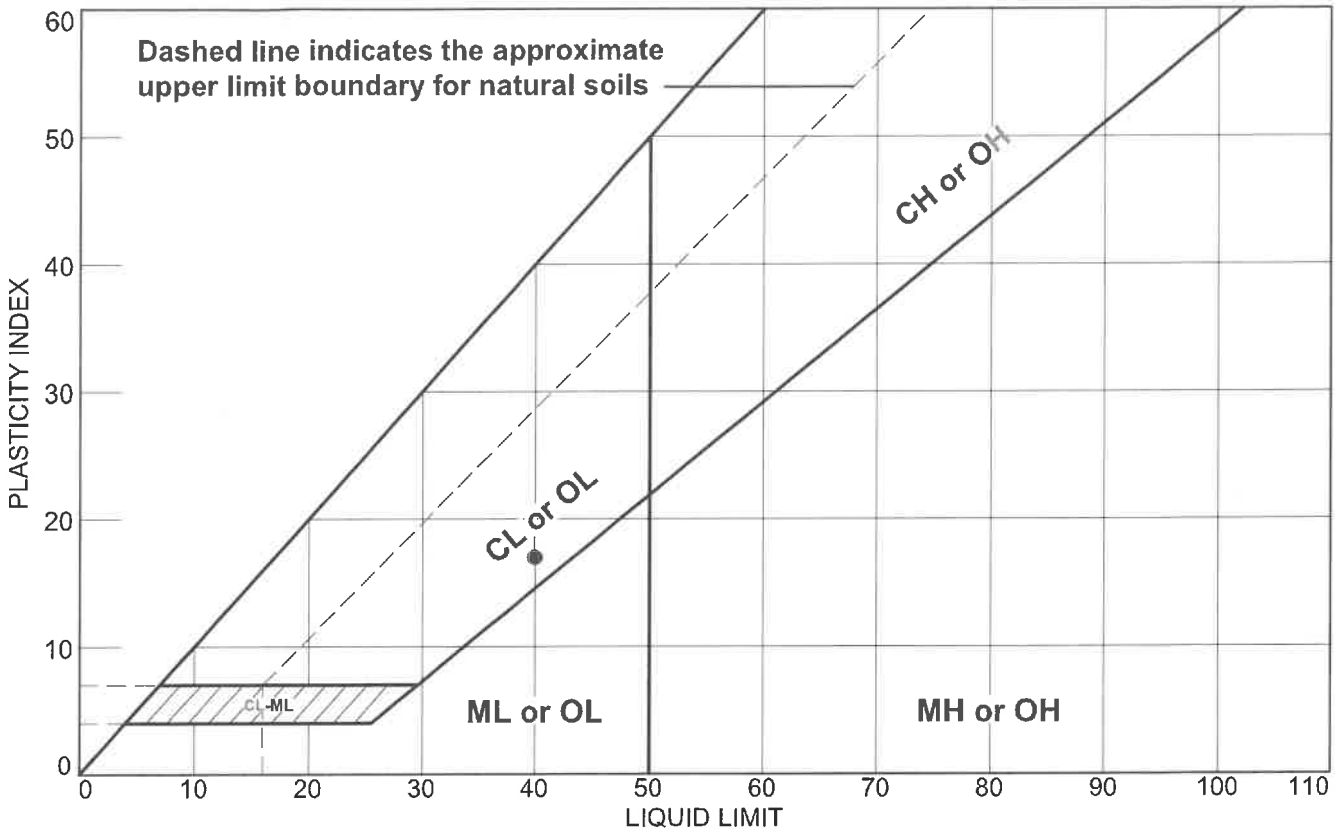
Dulles Geotechnical and Materials Testing Services, Inc. (DGMTS)
14155 Sullyfield Circle, Suite H, Chantilly, VA 20151
Phone: 703-999-3207; www.dullesgeotechnical.com

Client: PRECISE Engineering & Inspection

Project: 420 69th Place, Seat Pleasant

Project No: 21365 **Figure** 1

LIQUID AND PLASTIC LIMITS TEST REPORT



SOIL DATA

	SOURCE	SAMPLE NO.	DEPTH	NATURAL WATER CONTENT (%)	PLASTIC LIMIT (%)	LIQUID LIMIT (%)	PLASTICITY INDEX (%)	USCS
●	TP-1	---	6.0'	20.8	23	40	17	CL

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Phone: 703-999-3207; www.dullesgeotechnical.com

Client: PRECISE Engineering & Inspection
Project: 420 69th Place, Seat Pleasant
Project No.: 21365 **Figure** 2

Tested By: Mohammad Ali R **Checked By:** Tariq Hamid

Precise Engineering LLC
Address: 9707 24th Avenue,
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Phone: (240) 447-9400
www.preciseengineer.com

Project Address:	420 69th Place, Seat Pleasant, Maryland 20743	Project#	22019
Client Name:	City of Seat Pleasant	Job:	Bearing Capacity Calculation
Engineer	Tewodros Amde, PE	License #	PE57702

FOUNDATION SOIL BEARING CAPACITY CALCULATION

Date April 12, 2022

INPUT

Foundation Information		
Shape	RE	SQ, CI, CO, or RE
B =	2.5	ft
L =	40.00	ft
D =	1	ft

Soil Information		
c =	0	lb/ft^2
f =	28	deg
g =	130	lb/ft^3
Dw =	10	ft

Bearing Capacity Factors Computations

SHAPE

Associated formulas:

$F \subset s = 1 + \frac{BNq}{LN_C}$	1.03
$F_{qs} = 1 + \frac{B}{L}\tan\phi$	1.02
$F_{\gamma s} = 1 - 0.4\frac{B}{L}$	1.02

DEPTH- Condition (a): $\frac{D_f}{B} \leq 1$

$F_{Cd} = 1 + 0.4\frac{Df}{B}$	1.13	
$F_{qd} = 1 + 2\tan\emptyset\,(1-\sin\phi)^2\frac{Df}{B}$		1.07
$F_{\gamma d} = 1$	1.00	

INCLINATION-

$F_{c_{i(qi)}} = \left(1 - \frac{\beta}{90^0}\right)^2$	1
$F\gamma i = \left(1 - \frac{\beta}{\phi}\right)^2$	1

N_c =	25.80
s_c =	1.03
d_c =	1.13
N_q =	14.72
s_q =	1.02
d_q =	1.07
N_g =	11.19
s_g =	1.02
d_g =	1.07
g' =	130
Kp =	2.76983
B/L =	0.0625
D/B =	0.4
$s_{zD'}$ =	130

g_w =	62.4
f (radians)	0.488693
$W_{footing}$	15000
g conc	150
Ka =	0.36

Bearing Capacity Computation		
q ult =	4,049	lb/ft^2
Factor of Safety	2.2	
q a =	2,092	lb/ft^2
Allowable Wall Load	5228.92	lb/ft
USE	2,000	PSF

EXHIBIT G – BEFORE AND AFTER PICS